

Application #: **HPC** _____

Application Date: _____

Historic Preservation Commission Certificate of Appropriateness Application

- | | | |
|---|---|---|
| <input type="checkbox"/> AC UNIT
<input type="checkbox"/> ADDITION
<input type="checkbox"/> ARBOR
<input type="checkbox"/> AWNING
<input type="checkbox"/> BALCONY
<input type="checkbox"/> CHIMNEY
<input checked="" type="checkbox"/> COLUMNS
<input type="checkbox"/> DECK
<input type="checkbox"/> DOOR REPLACEMENT
<input type="checkbox"/> DRIVEWAY
<input type="checkbox"/> EXTERIOR ALTERATIONS
<input type="checkbox"/> FENCE
<input type="checkbox"/> FLAGS / BANNERS
<input type="checkbox"/> FOUNDATION
<input checked="" type="checkbox"/> OTHER _____ | <input type="checkbox"/> GATE
<input type="checkbox"/> GENERATOR
<input type="checkbox"/> GUTTERS & LEADERS
<input type="checkbox"/> HOT TUB
<input checked="" type="checkbox"/> LATTICE
<input checked="" type="checkbox"/> LIGHT FIXTURE
<input type="checkbox"/> NEW CONSTRUCTION
<input type="checkbox"/> ORNAMENTATION
<input type="checkbox"/> OUTDOOR SHOWER
<input type="checkbox"/> PAINT
<input type="checkbox"/> PATIO
<input checked="" type="checkbox"/> PIERS
<input checked="" type="checkbox"/> PORCH
<input type="checkbox"/> PORCH FAN | <input checked="" type="checkbox"/> RAILINGS
<input type="checkbox"/> RETAINING WALL
<input type="checkbox"/> ROOF
<input type="checkbox"/> SATELLITE DISH
<input type="checkbox"/> SHED
<input type="checkbox"/> SHUTTERS
<input checked="" type="checkbox"/> SIDING
<input type="checkbox"/> SIGN
<input type="checkbox"/> SKYLIGHT
<input type="checkbox"/> SOLAR
<input checked="" type="checkbox"/> STAIRS
<input type="checkbox"/> VENT
<input type="checkbox"/> WALKWAY
<input checked="" type="checkbox"/> WINDOWS |
|---|---|---|

Please complete this application in its entirety.

Before submission of an application, the applicant is encouraged to review the Ocean Grove Historic District Architectural Design Guidelines for Residential Structures or Commercial Buildings and read the entire attached Information Sheet. The Guidelines are available online at www.neptunetownship.org. Please type or print legibly with ink.

Incomplete applications will not be accepted.

REQUIRED INFORMATION: *With each application, you are required to submit color photos of the property*, and, depending on the scope of work proposed, architectural plans or sketches, material samples, color samples, catalog cuts, or any other useful references for review. Once your application is scheduled for a meeting, you may be required to submit additional information or copies of your application and other submitted documents.

PROPERTY IDENTIFICATION _____

ADDRESS: 59 HECK AVENUE, OCEAN GROVE

BLOCK: 209 LOT: 13 QUALIFIER: _____

OWNER INFORMATION _____

NAME(S): MICHAEL HARRIGAN

ADDRESS: 59 HECK AVENUE, OCEAN GROVE, NJ 07756

PHONE: [REDACTED]

APPLICANT INFORMATION _____

Check if same as Owner

NAME(S): Mark Alexander Pavliv, AIA COMPANY: The Architect's Studio

ADDRESS: 77 MAIN AVE, SUITE 101, OCEAN GROVE, NJ 07756

PHONE: 732-776-8777 EMAIL: mp77aia@aol.com

APPLICANT CAPACITY – IF OTHER THAN OWNER (Check one):

Lessee Agent Architect Contractor Attorney Other: _____

PROPERTY INFORMATION

PROPERTY TYPE (Check one):

Single Family Multifamily: _____ Units Commercial Condo Mixed Use

ARCHITECTURAL PERIOD / YEAR BUILT: 1953 ARCHITECTURAL STYLE: MODERN ERA RANCH

Does your project include demolition of 15% or more of exterior of existing structure? YES NO

If YES: you must apply for a Demolition Permit prior to applying for a Certificate of Appropriateness.

Do you have Zoning Department approval for this project? YES NO N/A

ZONING PERMIT ID# (from Zoning Permit): 557348834 DATE APPROVED: 4/5/22

Please Note: If Zoning approval is required for the work described on your application, your application will remain incomplete until Zoning approval is received. **Incomplete applications will not be accepted.**

Describe all proposed work to be conducted on subject property below. Be sure to include all colors and materials to be used. Attach additional pages if necessary.

FRONT ELEVATION ASBESTOS SIDING TO BE REPLACED WITH 7" EXPOSURE NUCEDAR SHAKES IN FIRST PHASE.
APPLICANT REQUESTS APPROVAL FOR THE WIDENING OF THE EXISTING 5X14 FT COVERED FRONT PORCH TO THE FULL WIDTH OF THE CURRENT 24 FT FRONT FACADE AT THIS MODERN ERA 1953 1-STORY WOOD FRAME DWELLING. WORK TO INCLUDE REMOVAL OF THE EXISTING FRONT BRICK AND EAST SIDE ALLEY POURED CONCRETE STEPS AND ALUMINUM RAILING, AND REMOVAL OF THE SIDE ENTRY DOOR AND ALUMINUM AWNING. NEW RAILING TO BE INTEX DARTMOUTH STYLE WITH 4" SQUARE NEWEL POSTS AND 6" CHAMFERED PORCH POSTS. EXISTING CONCRETE BLOCK PORCH FOUNDATION TO BE OBSCURED WITH NEW THIN CUT BRICK, PAINTED 3-D LATTICE PANELS WITH WOOD PANEL FRAMES. NEW PORCH STEPS AND PORCH DECKING TO BE STAINED TONGUE AND GROOVE MAHOGANY MATERIAL. NEW PORCH SOFFIT TO BE 2" AZEK BEADED BOARD. ALUMINUM WINDOWS ADJACENT TO PROPOSED PORCH WORK TO BE REPLACED WITH NEW SOLID CORE WOOD 1/1 DOUBLE HUNG WITHIN THE EXISTING OPENINGS. EAST SIDE DOOR TO RECEIVE A RAISED SILL AND MATCHING DOUBLE HUNG WINDOW. A NEW REAR DOOR AND WOOD STEPS AND POWDER COATED BLACK PORCH LANTERNS ARE TO BE AS PER PLAN.

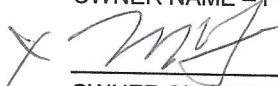
By signing this application, the Applicant and Owner agree to the following:

- Property site visits by Neptune Township Staff, HPC Members and HPC Professionals until the project has been deemed to be complete.
- The information herein is correct and complete to the best of your knowledge.
- The HPC or HPC Application Review Team may require additional information for your application to be considered complete.

By signing this application, the Owner authorizes the listed Applicant to appear as their representative at a public hearing before the Commission.

MICHAEL HARRIGAN

OWNER NAME - Please PRINT



OWNER SIGNATURE

5/10/22

DATE

Mark Alexander Payliv, AIA

APPLICANT NAME - Please PRINT


APPLICANT SIGNATURE

5/10/22

DATE

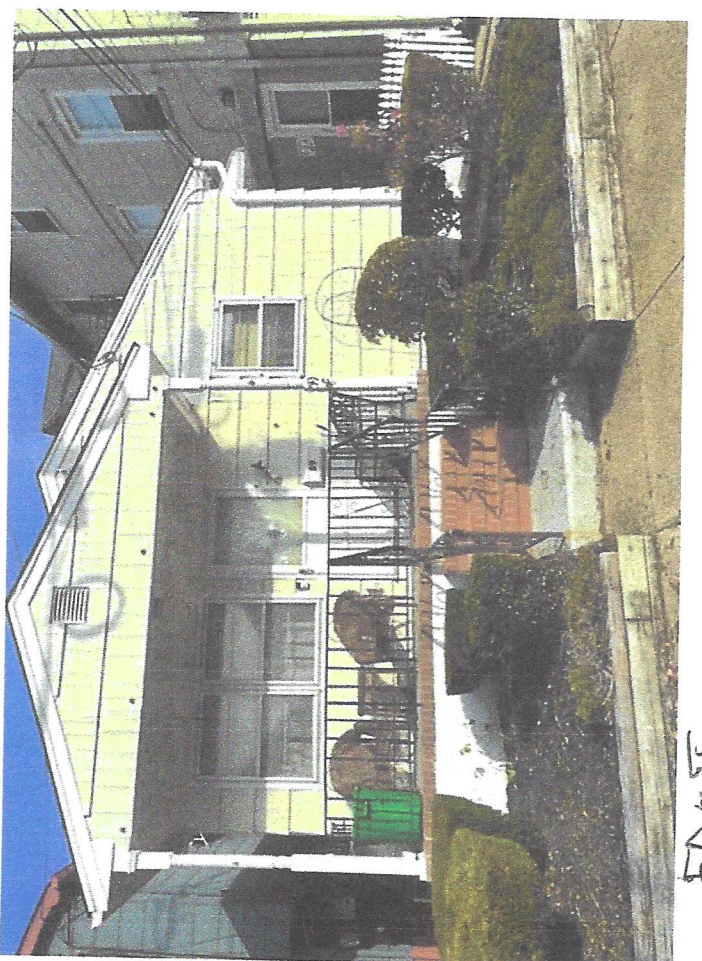
REAR



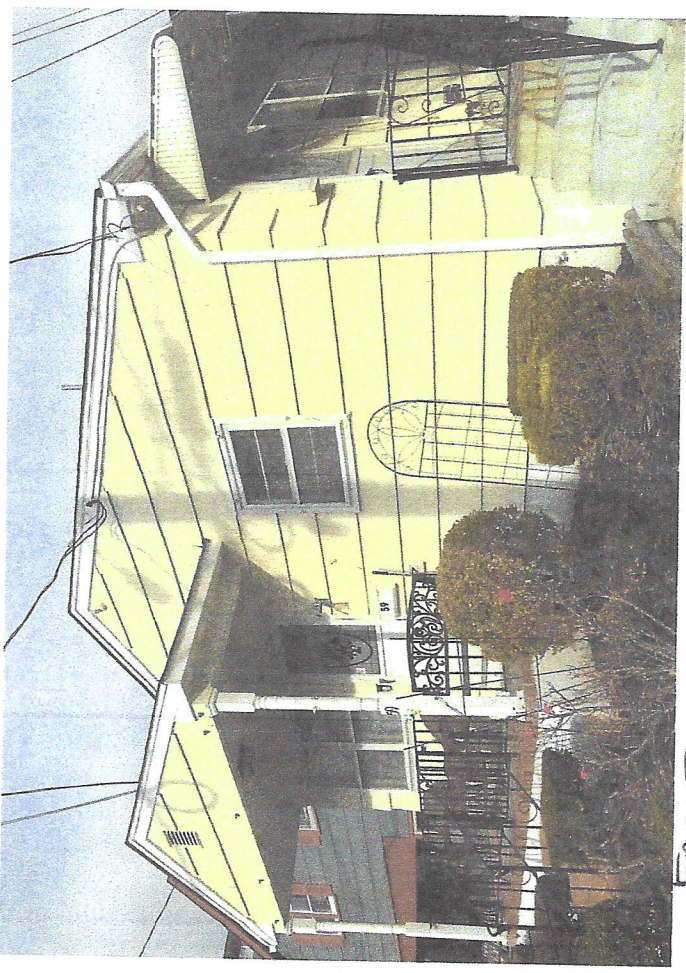
REAR



FRONT



FRONT



FRONT



BACK PIERS

59 HECK AVE

400 SERIES TILT-WASH DOUBLE-HUNG FULL-FRAME WINDOWS

Table of Tilt-Wash Double-Hung Window Sizes
Scale 1/8" (3) = 1'-0" (305) - 1:96

59 HECK AVE
REPLACEMENT
WINDOWS

Window Dimension	1'-9 5/8" (549)	2'-1 5/8" (651)	2'-5 5/8" (752)	2'-7 5/8" (803)	2'-9 5/8" (854)	2'-11 5/8" (905)	3'-1 5/8" (956)	3'-5 5/8" (1057)	3'-9 5/8" (1159)
Minimum Rough Opening	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-8 1/8" (816)	2'-10 1/8" (867)	3'-0 1/8" (917)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)
Unobstructed Glass (lower sash only)	15" (381)	19" (483)	23" (584)	25" (635)	27" (686)	29" (737)	31" (787)	35" (889)	39" (991)

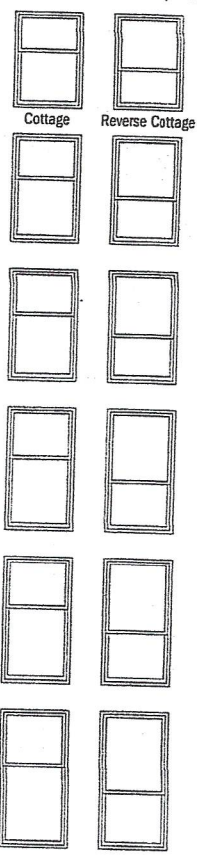
CUSTOM WIDTHS - 21 5/8" to 45 5/8"

CUSTOM HEIGHTS - 36 7/8" to 92 7/8"	CUSTOM WIDTHS - 21 5/8" to 45 5/8"								
3'-0 1/8" (937)	TW18210	TW20210	TW24210	TW26210	TW28210	TW210210	TW30210	TW34210	TW38210
3'-4 1/8" (1038)	TW1832	TW2032	TW2432	TW2632	TW2832	TW21032	TW3032	TW3432	TW3832
3'-8 1/8" (1140)	TW1836	TW2036	TW2436	TW2636	TW2836	TW21036	TW3036	TW3436	TW3836
4'-0 1/8" (1241)	TW18310	TW20310	TW24310	TW26310	TW28310	TW210310	TW30310	TW34310	TW38310
4'-4 1/8" (1343)	TW1842	TW2042	TW2442	TW2642	TW2842	TW21042	TW3042	TW3442	TW3842
4'-8 1/8" (1445)	TW1846	TW2046	TW2446	TW2646	TW2846	TW21046	TW3046	TW3446	TW3846
5'-0 1/8" (1546)	TW18410	TW20410	TW24410	TW26410	TW28410	TW210410	TW30410	TW34410	TW38410
5'-4 1/8" (1648)	TW1852	TW2052	TW2452	TW2652	TW2852	TW21052	TW3052	TW3452	TW3852
5'-8 1/8" (1749)	TW1856	TW2056	TW2456	TW2656	TW2856	TW21056	TW3056	TW3456	TW3856
6'-0 1/8" (1851)	TW18510	TW20510	TW24510	TW26510	TW28510	TW210510	TW30510	TW34510	TW38510
6'-4 1/8" (1953)	TW1862	TW2062	TW2462	TW2662	TW2862	TW21062	TW3062	TW3462	TW3862

Custom-size windows are available in 1/8" (3) increments. See page 84 for custom sizes.

Grille patterns shown on page 84.

Cottage or reverse cottage sash patterns are available for heights shown below in all widths.
CUSTOM WIDTHS - 21 5/8" to 45 5/8"
CUSTOM HEIGHTS - 48 1/8" to 72 7/8"

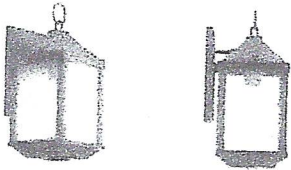
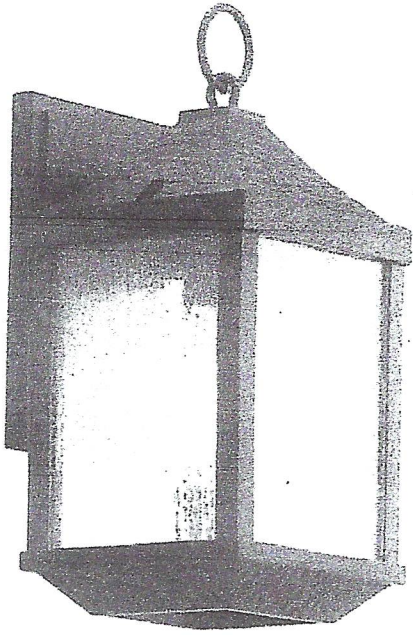


Size tables for windows with cottage or reverse cottage sash are available at andersenwindows.com/sizing.

* "Window Dimension" always refers to outside frame to frame dimension.
* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.
* Dimensions in parentheses are in millimeters.
Ø Meet or exceed clear opening area of 5.7 sq.ft. or 0.53 m², clear opening width of 20" (508) and clear opening height of 24" (610). See tables on pages 82-83.

continued on next page

59 HECK AVE

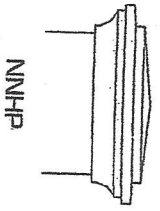


Kichler

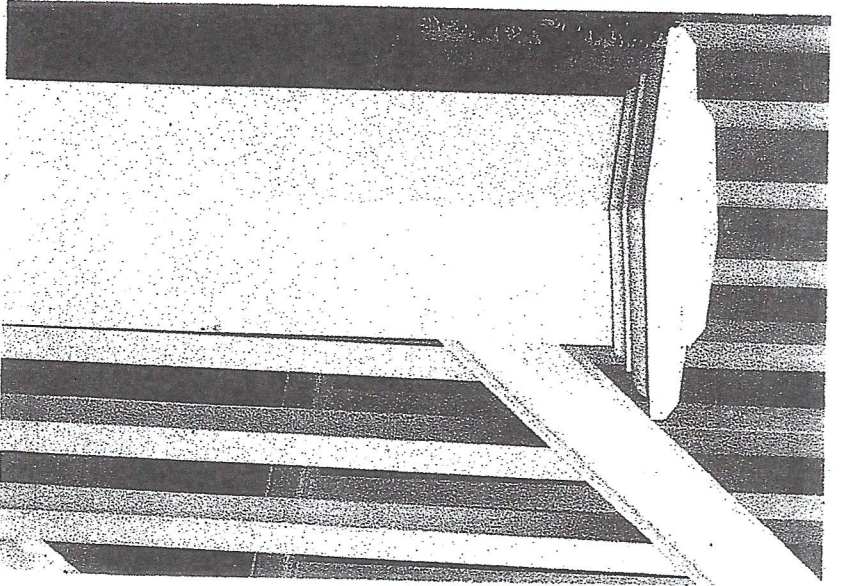
Springfield Single Light 13-1/2" Tall Outdoor Wall Sconce

Model: 49984DBK

59 Heckle Ave

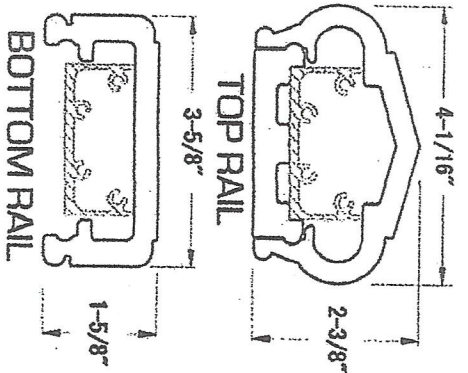


RS35400



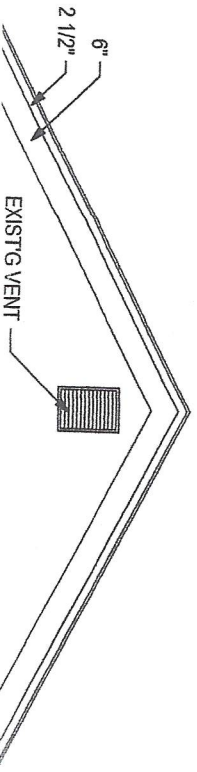
Railing Newel Post

Scale: Schematic/NTS



Porch Railing Details

Scale: Schematic/NTS



General Notes

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.

3. ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.

4. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE CLEAN-UP AT THE CONCLUSION OF WORK.

5. SHOULD THERE BE ANY CONFLICT BETWEEN WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.

6. THE CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.

7. THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BY ALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.

8. UPON ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.

9. OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

Special Notes

INDEMNIFICATION CLAUSE:

THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

PERMITS AND RELATED FEES:

CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

NOTICE OF COPYRIGHT:

USE OF THESE CONSTRUCTION DRAWINGS IS LIMITED TO THE PROJECT SITE INTENDED. ALL COPYRIGHT AND REPRODUCTION IS RESERVED BY THE ARCHITECT - MARK ALEXANDER PAVLIV, AIA AS ARCHITECT OF RECORD. REPRODUCTION AND USE OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION AND CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

Legend

	WALLS TO BE REMOVED
	EXISTING WALLS
	NEW WOOD STUDS WALLS
	EXISTING WINDOW LOCATION
	NEW WINDOW LOCATION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR
	STRUCTURAL BEAM
	JOIST FRAMING
	ROOF OVERHANG OR SOFFIT LINE
	ELEC. WALL SWITCH
	ELEC. WALL DIMMER
	ELEC. 3 WAY SWITCH
	ELEC. WALL OUTLET
	ELEC. FLOOR OUTLET
	ELEC. HALF-HOT WALL OUTLET
	CEILING MOUNTED LIGHT
	BRACKET/WALL MOUNTED LIGHT
	RECESSED CEILING LIGHT
	RECESSED DIRECTIONAL LIGHT
	EXHAUST FAN/HEAT LAMP
	SMOKE DETECTOR
	TV/CABLE JACK
	TELEPHONE JACK
	DUAL FLOOD/MOTION LIGHT
	SECTION CUT

Area Calculations

Applicant: Michael Harrigan
59 Heck Avenue
Ocean Grove, NJ 07756

Site Address: 59 Heck Avenue, Ocean Grove, NJ 07756
Block #209, Lot #13; ZONE: HD-R1

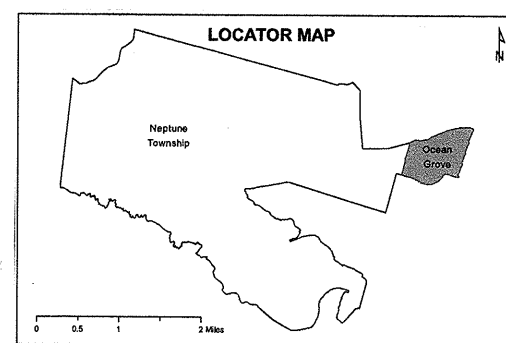
Description: Proposed covered front porch expansion, window and door replacement and related exterior repairs to the existing 1-story 1953 single-family dwelling located at 59 Heck Avenue, Ocean Grove, New Jersey.

LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	30.09 ft	no change	> 30.0 ft
Lot Width	30.09 ft	no change	> 30.0 ft
Depth	60.25 ft	no change	> 60.0 ft
Area	1,812.92 sf	no change	> 1,800 sf

SETBACK	EXISTING	PROPOSED	ALLOWED
Front (to edge of dwelling)	9.87 ft	Same	10.0 ft
Front (to edge of covered porch)	4.87 ft	4.66 ft	4.0 ft
Front (to edge of covered porch overhang)	4.87 ft	4.00 ft	4.0 ft
East Side (to edge of dwelling)	3.82 ft	Same	2.0 ft
East Side (to edge of overhang)	2.82 ft	Same	2.0 ft
West Side (to edge of dwelling)	2.02 ft	Same	2.0 ft
West Side (to edge of existing overhang)	1.02 ft	Same	2.0 ft
West Side (to edge of new front porch overhang)	-	2.02 ft	2.0 ft
Rear (to edge of dwelling)	10.66 ft	Same	3.1 ft
Rear (to edge of overhang)	10.60 ft	Same	3.1 ft
Floor Levels	1 story	Same	2.5 stories
Height	16.3 ft	Same	35.0 ft

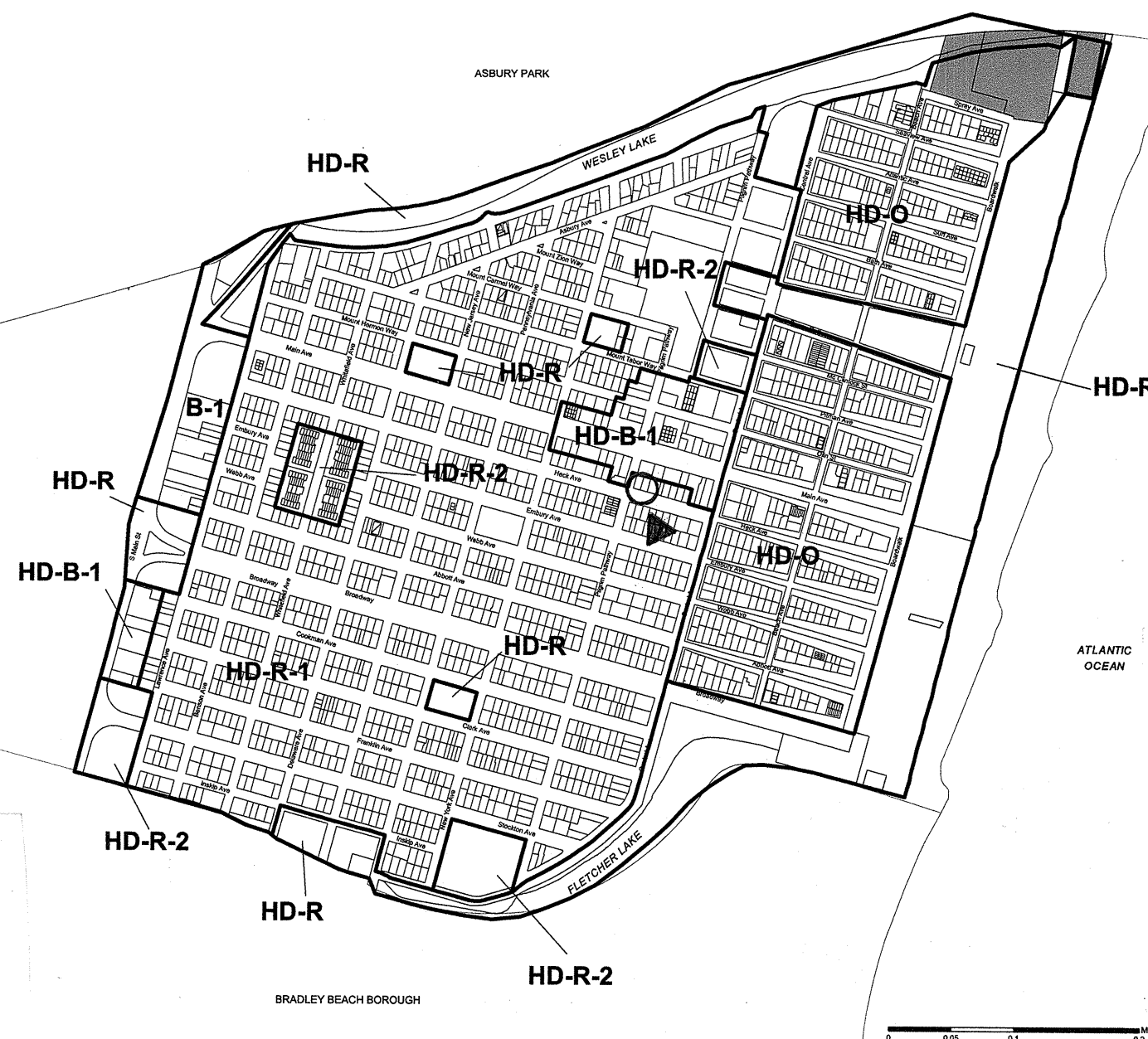
	EXISTING	PROPOSED	PERMITTED
Principal Bldg	960.0 sf	960.0 sf Same	
Covered Porch	70.0 sf	125.4 sf	
Building Cover: 1,030.0 sf (includes covered porch)		1,085.4 sf (59.9%)	< (85.0%)
Front Step/Walk:	20.0 sf	18.4 sf	N/A
Rear Steps:	none	25.2 sf	N/A
Side Steps:	36.0 sf	none	N/A
Walkways:	142.7 sf	178.7 sf	N/A
AC Units:	4.0 sf	4.0 sf	N/A
Patio Paver:	256.5 sf	231.3 sf	N/A
Total Other:	459.2 sf	457.6 sf	N/A
Total Cover	1,493.2 sf	1,543.0 sf (85.15%)	< (90.0%)

	EXISTING	PROPOSED	PERMITTED
First Floor:	960.0 sf	960.0 sf Same	
Total Area:	960.0 sf	960.0 sf Same	N/A



Zoning Districts
B-1: Town Commercial
HD-R-1: Historic District Single-Family Residential
HD-R-2: Historic District Multi-Family Residential
HD-R: Historic District Recreation
HD-CO: Historic District Core
Redevelopment/Rehabilitation Areas
North End Redevelopment Area

Zoning Map
Ocean Grove
Township of Neptune
Monmouth County, New Jersey



List of Drawings

No.	Description	Date
A-1	General Notes, Zoning & Area Calculations & Site Plan	4/18/22
A-2	Elevations	
A-3	Foundation Floor Plan & Details	
A-4	Specifications Construction Details & Window Schedule	
A-5	Porch Section Details	

REVISIONS

No.	Description	Date
1	ZONING	4/18/22

ISSUES

No.	Description	Date
1	ZONING	4/18/22

Mark Alexander Pavliv, AIA

77 Main Avenue, Suite 101
Ocean Grove, NJ 07756

(732) 776-8777
NJ Lic No. AI00820300
springlakearchitect.com
mp77aia@aol.com

Mark Alexander Pavliv
Signature

Various Exterior,
Porch and Window
Renovations to the
Existing 1 Story
Single-Family Dwelling
Block #209, Lot #13

Use Group: R5
Construction Type: 5B

PROJECT NAME
Harrigan Residence
59 Heck Avenue
Ocean Grove, NJ

DRAWING TITLE
General Notes,
Area Calculations
Site Plan

SCALE
As Noted

JOB No.
2022A9059

DATE
4/18/22

DRAWING No.

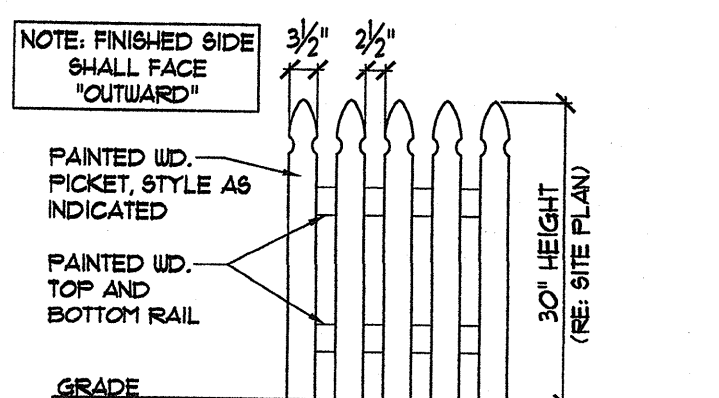
DRAWN BY
MP/AV

CHECKED BY
WP

A1

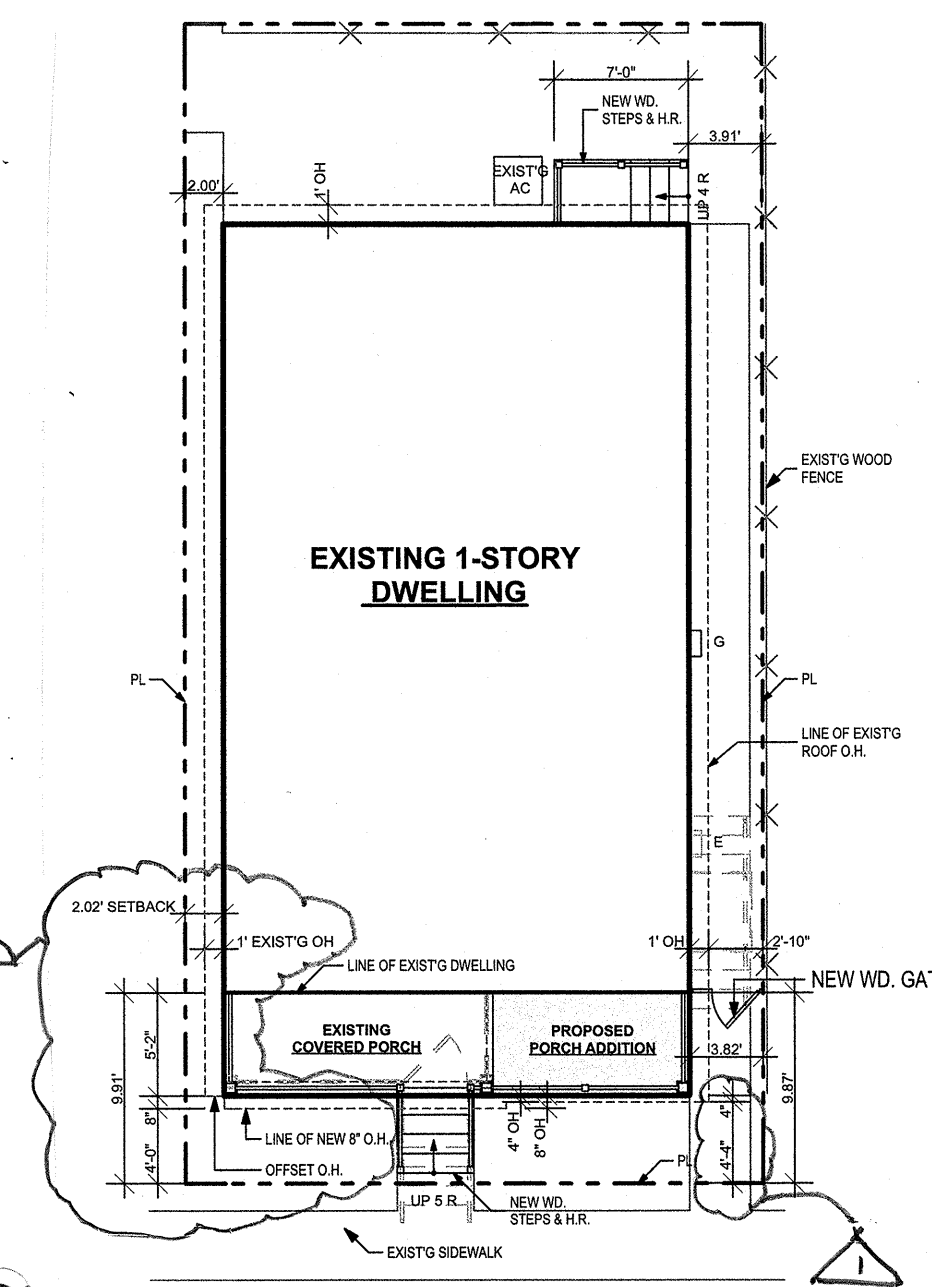


Photo Reference



Picket Fence/Gate Detail

Scale: 1/2" = 1'-0"

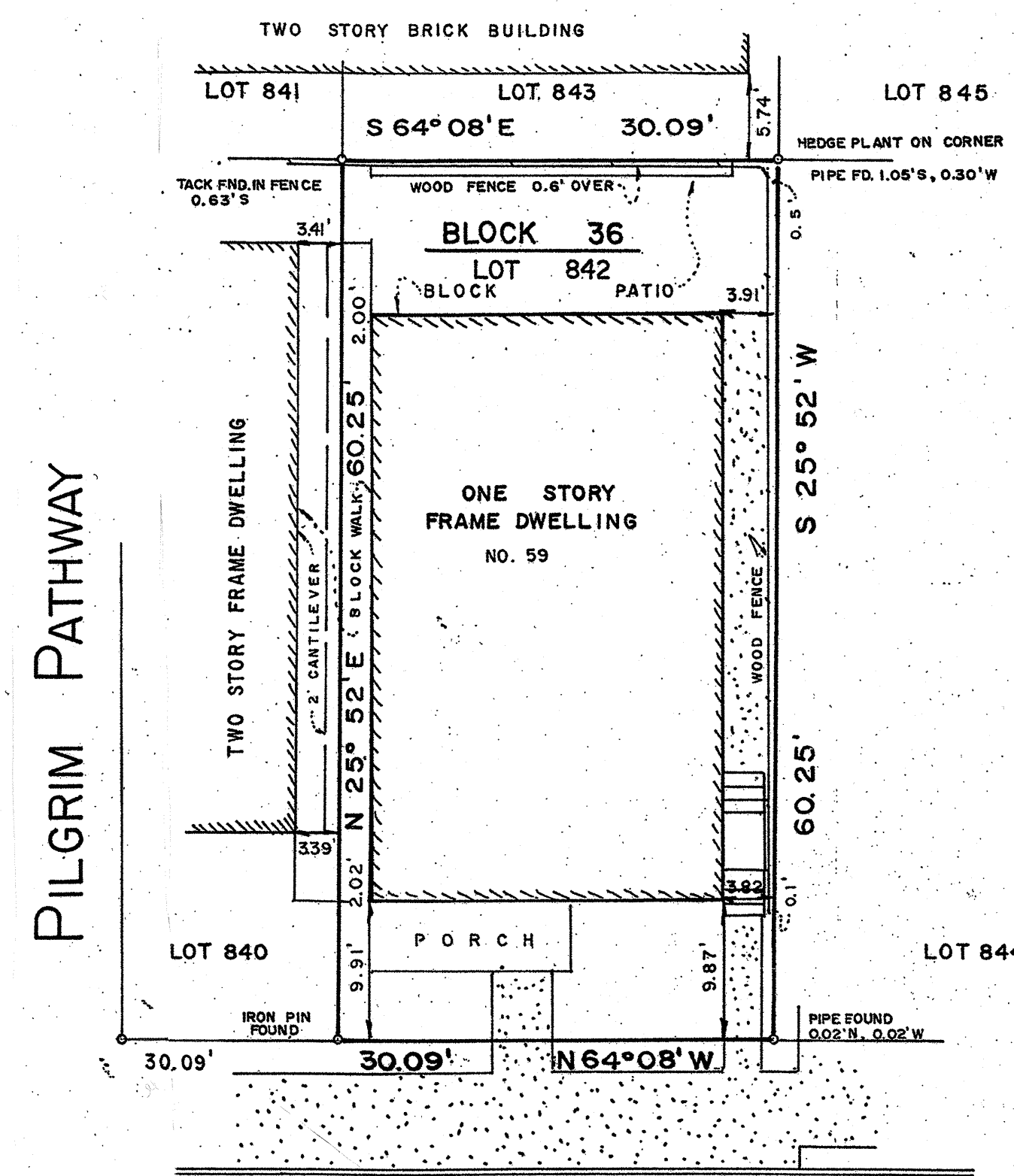


Site Plan

Scale: 1" = 10'

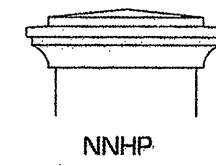
Survey provided by Owner:

Survey dated August 18, 1992 was prepared by a licensed Land Surveyor, Roger A. Strevell, PE & PLS and provided by Owner as a site plan reference. Prior to issuance of construction permit, a final site drainage plan and related grading drawings, when so required by local authorities, will be prepared and submitted for final approval.



Existing Conditions Survey Reference

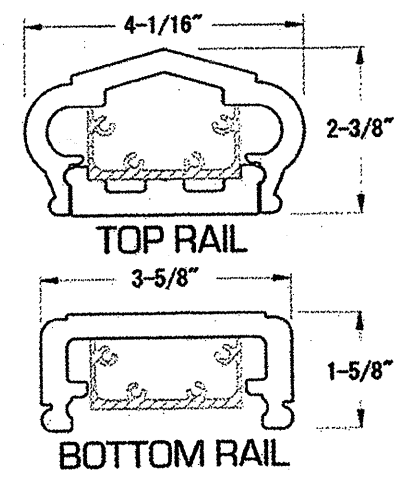
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RS35400



Railing Newel Post
Scale: Schematic/NTS

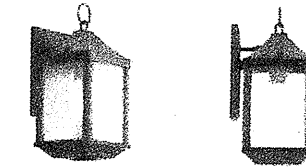
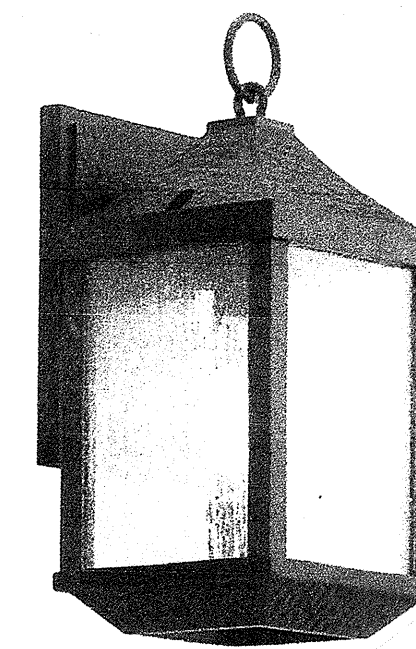


Porch Railing Details
Scale: Schematic/NTS

Exterior Light Fixture

Scale: NTS

Exterior Lighting Compliance Note:
All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.



Kichler
Springfield Single Light 13-1/2" Tall Outdoor Wall Sconce
Model: 49884DBK

Special Notes:

All proposed work to comply with the current International Residential Code New Jersey Edition

Exterior siding and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

Contractor to provide all fasteners in accordance with R802.11 or as otherwise specified on Typical Section Detail.

Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

REVISIONS		
No.	Description	Date
1	ZONING	4/18/22

ISSUES		
No.	Description	Date
1	ZONING	4/18/22

Mark Alexander Pavliv, AIA

77 Main Avenue, Suite 101
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mp77aia@aol.com

Mark Alexander Pavliv
Signature

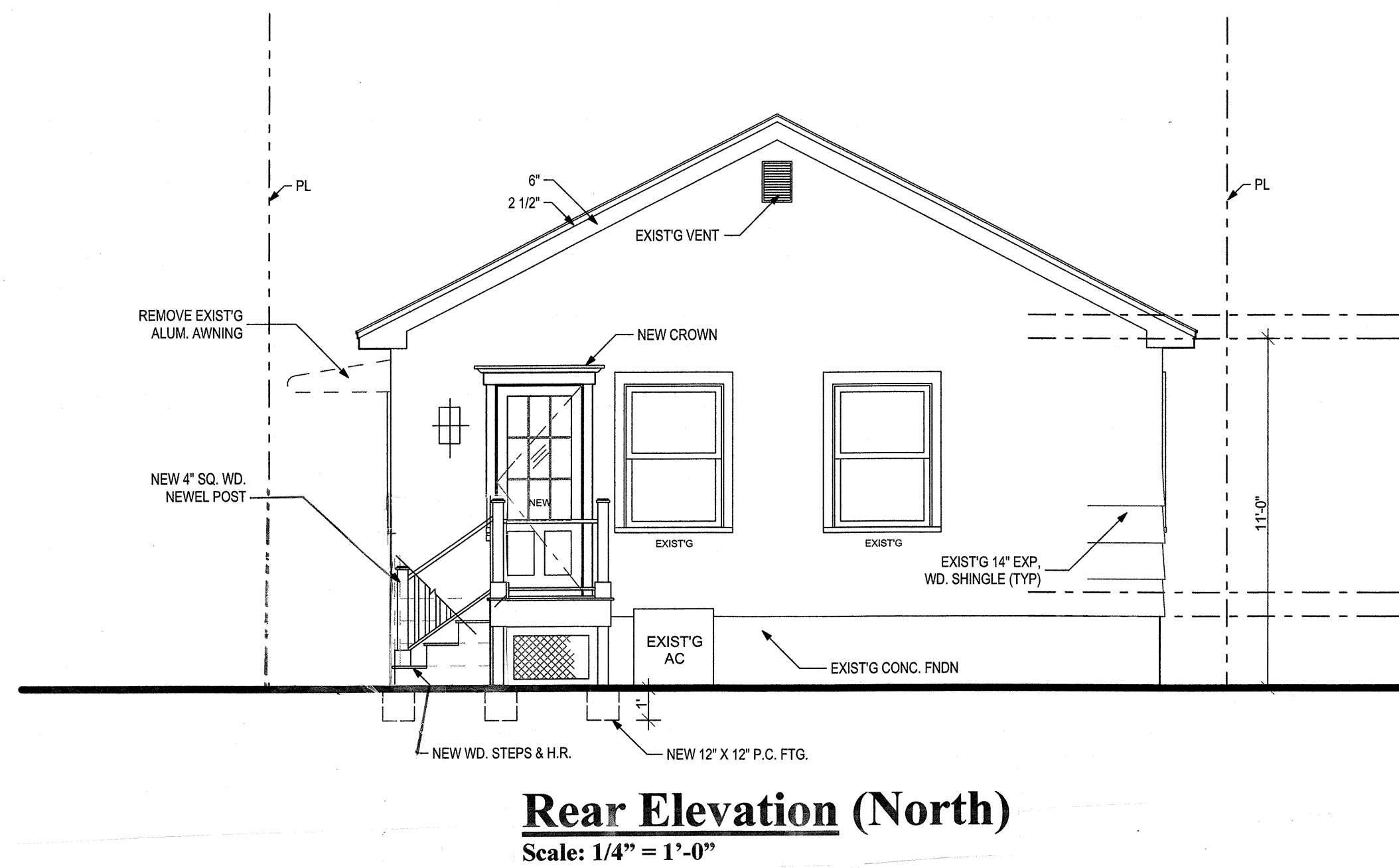
Various Exterior, Porch and Window Renovations to the Existing 1 Story Single-Family Dwelling Block #209, Lot #13

Use Group: R5
Construction Type: 5B

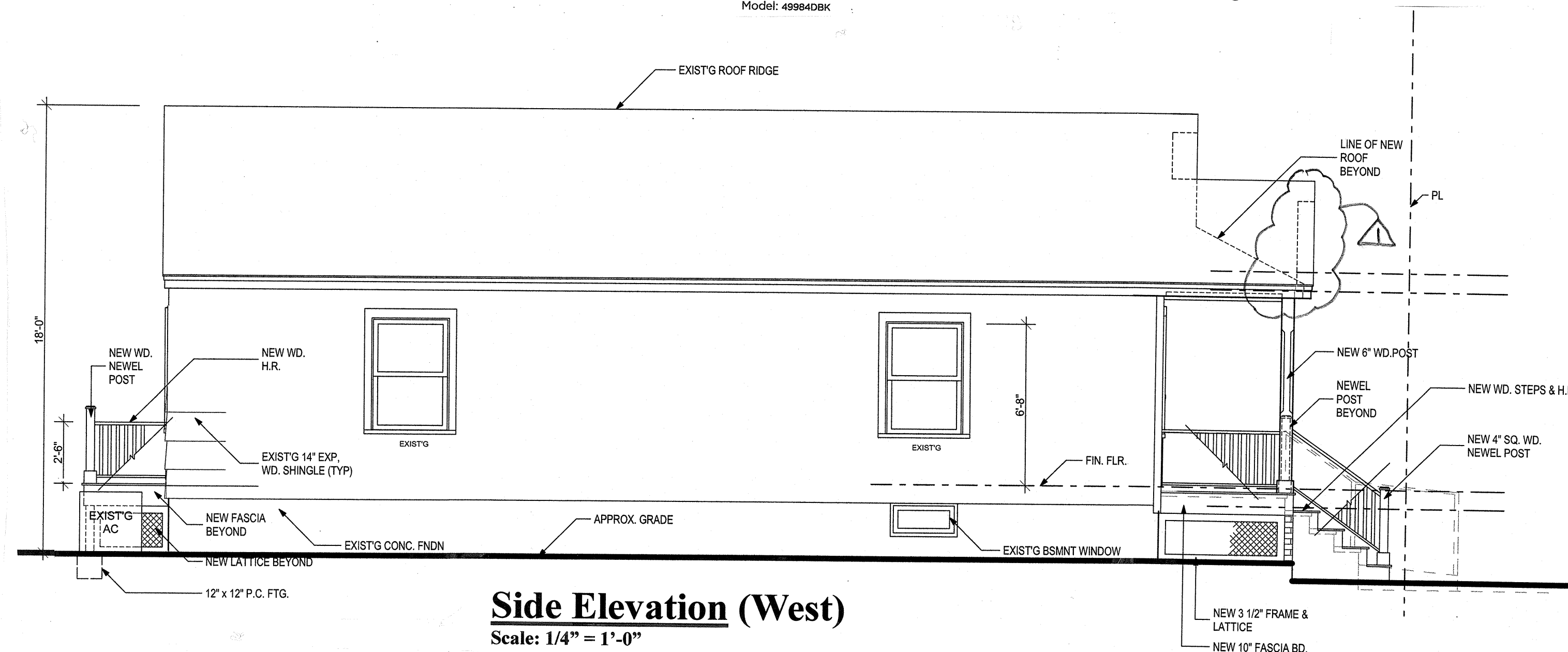
PROJECT NAME
Harrigan Residence
59 Heck Avenue
Ocean Grove, NJ

DRAWING TITLE
Elevations

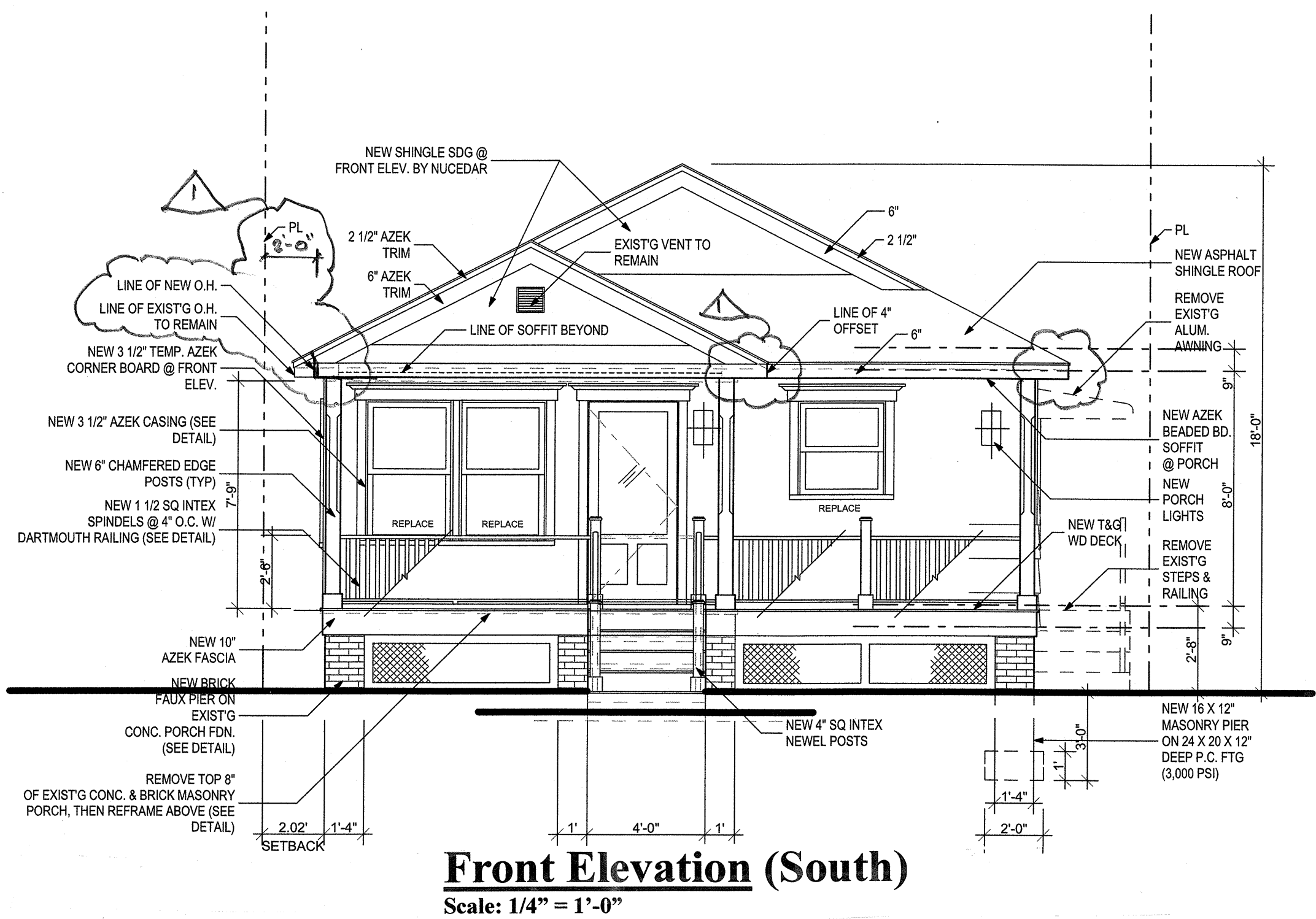
SCALE As Noted	JOB No. 202299054
DATE 3/1/22	DRAWING No. A2
DRAWN BY MOP/EC	CHECKED BY WP



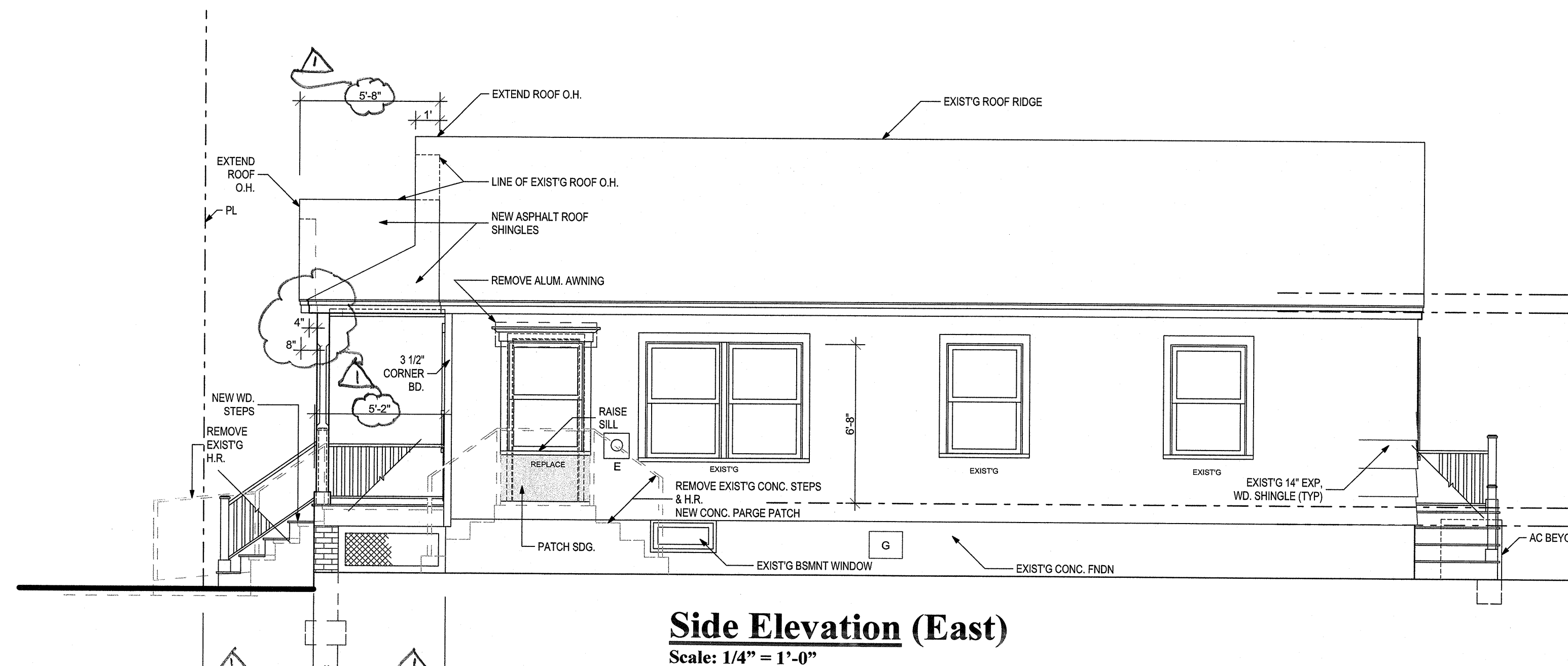
Rear Elevation (North)
Scale: 1/4" = 1'-0"



Side Elevation (West)
Scale: 1/4" = 1'-0"



Front Elevation (South)
Scale: 1/4" = 1'-0"



Side Elevation (East)
Scale: 1/4" = 1'-0"

Specifications:

Division 1 - General Conditions

All work to comply with the Current International Residential Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, the General Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

All construction permits are to be procured by General Contractor and paid by Owner.

The Contractor is responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. Specifications have been provided to assist the Contractor in the implementation of the project.

Contractor to be responsible for the storage and protection of all items immediately upon and after delivery to the project site until issuance of the final Certificate of Occupancy.

Lead Paint, Asbestos or other Hazardous Material:
Contractor responsible for the identification and removal of any of the above noted environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements, in the event such materials are found during the course of demolition, or construction, at no additional cost to the Owner.

Demolition and Removals:
All existing siding, window, door and corner trim within the proposed area of work graphically indicated on plans or otherwise required to be removed to complete the proposed renovations, are to be removed.

Existing masonry front porch is to remain but top concrete slab and brick edge is to be removed to accommodate new ACQ framing, as detailed, to allow for new 1" T&G wood decking as specified and approved by HPC.

Existing front porch brick masonry steps and raised concrete walk at base of steps are to be removed to allow replacement with new wood steps and railing, as specified.

East alley concrete steps and landing are to be removed together with the existing aluminum fixed awning, as per plan.

Contractor is responsible for the provision and associated costs of all required demolition, dumpsters, removals and disposal of debris in accordance with local regulations.

Division 2 - Site Work

Site Work:
Contractor to restore any and all disturbed grade conditions immediately adjacent to work areas in an orderly and workmanlike manner as may be required at the completion of the project.

Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site in accordance with R801.3.

Division 3 - Concrete

Footings & Foundations:
New concrete footings designed for soil bearing capacity of 2,500 lbs/sf min. All footings to sound bearing to 3'-0" below grade as per plan and are to be 12" deep with a minimum 4" footing projection and be of an ultimate strength of not less than 3,500 psi in 28 days.

Division 4 - Masonry

Brick Masonry Piers:
Contractor to construct new brick piers in accordance with details provided and set upon new 12" deep poured concrete footings to sound bearing to 3'-0" below grade.

Division 5 - Metals

Fasteners & Hangers:
All metal hangers and other ties and connectors to be as manufactured by "Simpson" or equal or as otherwise approved by the Architect.

All metal hangers and other ties in contact with pressure treated ACQ lumber shall be zinc coated and compliant with ASTM A-153 so as to be compatible with ACQ as required.

Division 6 - Woods & Plastics

Lumber:
Any new framing lumber at area of replacement windows at rear elevation to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. Any replacement sill plates, if required, in areas where framing is in direct contact with concrete or masonry foundation walls shall be ACQ Pressure Treated.

Any new or required replacement window and door headers to be a minimum of two (2) 2"x10" or as approved by the Architect due to limiting field conditions.

Sheathing:

When required, any new exterior wall sheathing to be 1/2" minimum CDX plywood nailed to Code. Sheathing on any exterior walls within 5'-0" of property line to be 1-hour fire rated exterior grade gypsum board. Any new wall sheathing to be nailed to Code at 6" o.c.

Wood Joists:

All new wood porch joists in areas where proposed work, or other conditions are exposed, are to be framed with similar joist dimension and spaced at 16" o.c. Joist end conditions at all new 2 x 10" wood porch deck floor joists to be securely fastened at each end utilizing Simpson hangers HUS210 or equal. All new porch ceiling rafters and joist to be 2 x 8" as detailed in the section detail provided.

Exterior Architectural Trim:

All new ornamental architectural trim, window drip and door caps and all new door and window surrounds, as shown on the Elevations and Details, are to be synthetic polymer as manufactured by Azek or approved equal and painted as approved by the HPC Resolution.

New window and door surrounds to be 5/4" thickness in order to attain proper dimensional relief. All staple holes and fastening dibits to be filled and sanded in preparation of application of paint.

New Porch Access and First Floor Entry Stairs:

All such stairs, where indicated on plan, are to be closed box stair type and constructed utilizing matching stained T&G mahogany treads and painted Azek risers and closed stringers.

New Porch Floor Planking:

New exterior wood stair treads and wood deck surface to be 3 1/4 x 1" hardwood planking. All porch decks to pitch to drain at 1/8" per foot minimum.

Division 7 - Thermal & Moisture Protection

Application of caulk at any new or modified window and door perimeters as well as other through wall penetrations and joints are subject to approval by the Architect on-site.

Exterior Siding and Other Facings:
Exterior siding, or other facings, shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone.

All exterior finishes, materials and facings are to be as shown on the Elevation Drawings and to the limits of the front elevation terminating with corner boards.

Contractor to provide and install new simulated shingle siding as manufactured by NuCedar siding with 7" exposure, in areas noted on elevations. Color to be white to match all existing wood cedar siding to remain. Any deviation in siding color is subject to approval by Architect and HPC. All exterior fasteners shall be stainless steel.

Roofing:

New self sealing fiberglass composite asphalt shingle roofing to be "GAF Timberline" and wind rated to 120mph. All new roofing shingles shall conform to ASTM 3462 with a minimum of 8 fasteners per shingle. Contractor to install ice and water shield where existing structure adjoins areas or proposed work. New roofing at proposed porch roof area shall be rated and installed as per manufacturer's recommendations.

Vapor Barrier Paper and Wraps:

New exterior wall sheathing at front elevation to receive Dupont Tyvek Housewrap, or equal, in accordance with manufacturer recommended installation methods.

Contractor to install ice and water shield over all roof conditions with a limited slope of less than 4 over 12.

Division 8 - Doors & Windows

Replacement windows and doors shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone.

Windows:

Any new windows to be solid core wood units, where indicated, and be Low-E4 insulated clear glass with screens, as manufactured by Andersen Windows and Doors, 400 Series in standard White color as approved by HPC.

Sizes for windows to be verified in the field or as otherwise identified on plans. Interior sash and frame to be factory finished in white.

Contractor is responsible to verify provided window designations, egress compliance and sizes in field and notify Architect of any conflicts. Interior window hardware to factory finished white.

All glazed window or door panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Front Door:

Provide and install new pre-hung SIMPSON 3068 solid core wood door with tempered clear glass upper panel and dual lower recessed panels with saddle and all weather stripping.

Rear Door:

Provide and install new pre-hung THERMA-TRU insulated solid core Smart Star #S262 2868 in-swing exterior door with saddle and all weather stripping.

Division 9 - Finishes

Gypsum Board:
Any required interior patching related to door and window replacement is to be 1/2" Gypsum Board to be screwed and glued and be 1/2" minimum or in accordance with fire rating requirements for exterior walls within 5 feet of side and rear property lines.

Exterior Railing Systems:

New front step hand railings to be new painted INTEX "Dartmouth Style" with a 1 1/2" square spindle to match existing porch railings and spaced at a maximum of 4" o.c. to comply with Code and to replicate existing spindle pattern and spacing.

All new first floor top of rail height to be 30" with a 36" railing height at new and replaced porch access stairs to comply with Code.

Provide graspable 2 1/4" wood hand at front access steps. Provide new Newel Posts with a 4" square smooth faced configuration and 2-tiered newel post cap, as per proposed plan and elevations.

Interior Trim:

Any required replacement interior window casing to be new painted clear grade primed pine wood and finished to match all existing interior trim.

Any and all field conflicts and special conditions are to be brought to the attention of Architect. Trim with wood knots will not be acceptable.

Interior Paint:

All interior walls where touch-up is required due to window replacement is to receive a minimum of two coats of Benjamin Moore latex flat paint, or as otherwise requested by Owner.

All interior window casings and trim to be primed and receive two coats of Benjamin Moore satin enamel paint, or as otherwise requested by Owner.

Exterior Paint:

The front porch columns are to be square 6" painted Azek clad type over 4" square pressure treated ACQ Structural Wood Posts. Posts to receive base and cap detail as indicated on elevations and have chamfered post edges as detailed and approved by HPC.

Exterior Paint:

The areas not to be covered with facing material are to be painted with two coats of Benjamin Moore Latex or equal.

Division 10 - Specialties

Not included.

Division 11 - Equipment

Not included.

Division 12 - Furnishings

Not included.

Division 13 - Special Construction

Not included.

Division 14 - Conveying Systems

Not included.

Division 15 - Mechanical/Plumbing

Not included.

Division 16 - Electrical

All electrical work is to be connected to service panels by Contractor. All electrical work to be installed as per the provided electrical schematic plan and fixture locations and type specified.

Electrical Service:

Contractor to coordinate all aspects of application, permit procurement and associated with electrical wiring alterations and additions.

Electrical Wiring and Requirements:

Contractor to install all new circuits and services as schematically indicated on the drawings.

All new wires to be concealed, constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be provided as required and where indicated on plans.

Lighting Fixtures:

All surface mounted fixtures to be supplied by the Owner and installed by the Electrical Sub-contractor.

Exterior Lighting Compliance Note:

All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

Window and Exterior Door Schedule

Room or Area	Quantity	Manufacturer #	Glazing	Egress	Full Divided Lite	Type/Comments
FRONT ELEVATION						
Living Room	1	Simpson Wood 3068	Tempered Upper	N/A	See Elevation	In-swing Door South
Living Room	2	TW210410	Low E4	N/A	1 over 1 lite	Double Hung South
Kitchen	1	TW2832 V.I.F.	Low E4	N/A	1 over 1 lite	Double Hung South
EAST ELEVATION						
Kitchen	1	TW210410 (V.I.F.)	Low E4	N/A	1 over 1 lite	Double Hung East
WEST ELEVATION						
Living Room	1	TW210410	Low E4	N/A	1 over 1 lite	Double Hung West
REAR ELEVATION						
Bedroom	1	Therma-tru 2868 #S262	Low E4	Yes	6 Lite Colonial/2 Panel - Smooth Star Door Upper Glazed Panel	In-swing Door North

Special Notes:

Window sizes as per Schedule to be verified in field by Contractor. Screens are to be provided. Window Designations are referencing Andersen Windows and Doors - 400 Series unless otherwise noted above or approved by the Architect.

Replacement windows to be factory clad exterior with factory finished interior wood core primed and painted pine. Exterior window frame and sash color to be Standard White, or as otherwise approved by HPC. Final order subject to field measurement and verification by Contractor and approval of vendor prepared detailed Shop Drawings with Specification to be approved by Architect in writing. Contractor is responsible to verify all window designations and sizes in field and notify Architect of any conflicts.

Any upgrades and/or deviations from the above are to be submitted to Owner and Architect for review approval.

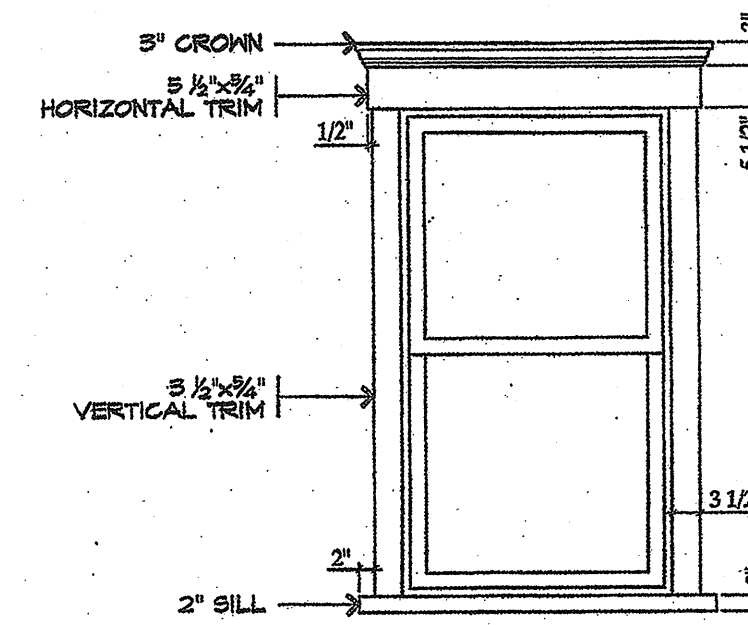
Windows to be solid core wood with full divided lites with spacer bars and be manufactured with High-Performance Insulated Low-E4 Glazing, and have a factory painted interior finish as manufactured by Andersen Windows and Doors. Provide window sash configuration as per elevations and provided Window Schedule as approved by HPC and Architect.

Interior window hardware to be standard factory white unless otherwise requested and approved by Owner.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all hinged doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface.

Front entry door to be pre-hung solid core 1 3/4" wood with weather stripping and aluminum saddle as manufactured by Simpson Wood Doors, or owner approved Equal.

Rear access door to be smooth faced with upper glass panel and dual recessed lower half panel as manufactured by Therma-tru Doors.

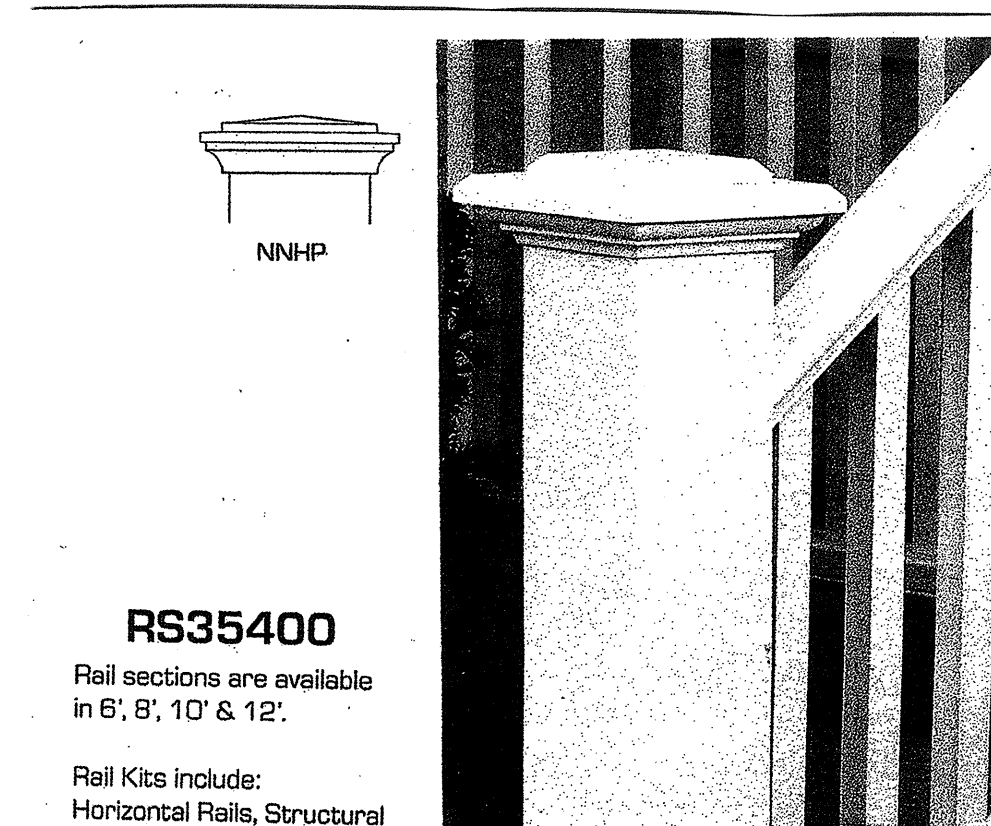


Typical Window Trim Detail

Scale: 1/2" = 1'-0"

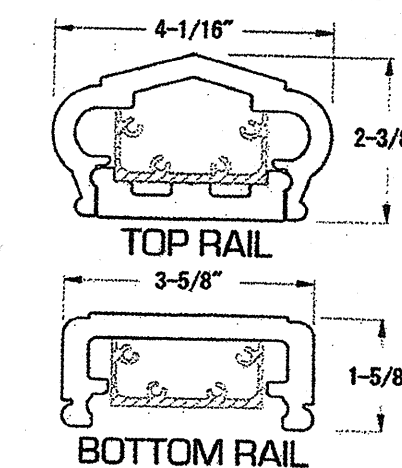
Exterior Siding Nails:

Contractor to utilize stainless nails in all shingle and trim applications.



Railing Newel Post

Scale: Schematic/NTS



Porch Railing Details

Scale: Schematic/NTS

REVISIONS		
No.	Description	Date
1	ZONING	4/18/22

ISSUES		
No.	Description	Date
1	ZONING	4/18/22

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Signature

Various Exterior, Porch and Window Renovations to the Existing 1 Story Single-Family Dwelling

Block #209, Lot #13

Use Group: R5
Construction Type: 5B

PROJECT NAME
Harrigan Residence
59 Heck Avenue
Ocean Grove, NJ

DRAWING TITLE
Specifications
Typical Details
& Window Schedule

SCALE
As Noted

JOB No.
202209059

DATE
3/1/22

DRAWING No.

DRAWN BY
AP/MP/EA

CHECKED BY
WP

A4

Special Notes:

1. Various covered porch framing connections to utilize Simpson Strong Ties fastening devices in accordance with manufacturer's specifications.
2. Covered porch joists framing end conditions to utilize Simpson HUS210 Strong Ties at each end.
3. New posts are to be secured at top and bottom with Simpson Strong Tie Strap H-8 or equal and be secured as applicable. Each strap to be covered with base or top cap as required in order to obscure fastening device.
4. All New First Floor porch deck framing to be secured to existing dwelling with a minimum 2" x 10" pressure treated wood ledger which is fastened to the structure with 1/2" zinc coated compatible lag bolts staggered at 24" on center and no closer than 2" to top and bottom edge of new wood ledger.
5. Exterior wood steps to be a minimum 11" full tread dimension and maximum 7" riser ht.
6. Railing height at First Floor covered porch to be as shown on the elevations.
7. Railing height at Steps to be uniform and measure from the tread nosing at a minimum of 34" and maximum of 38" and have a graspable railing with an outside diameter dimension of at least 1 1/2" but not more than 2", and replicate appropriate historic railing profile.

Design loads in accordance with Current IRC/NJ Edition to be:

Snow and Roof Load: 20 pounds per sq. ft.
 Attic Live Load: 20 pounds per sq. ft.
 First Floor Live Load: 45 pounds per sq. ft.
 Second Floor Live Load: 35 pounds per sq. ft.
 Design Wind Load: 120 miles per hour

REVISIONS		
No.	Description	Date
1	ZONING	4/18/22

ISSUES		
No.	Description	Date
1	ZONING	4/18/22

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 Signature

Various Exterior, Porch and Window Renovations to the Existing 1 Story Single-Family Dwelling

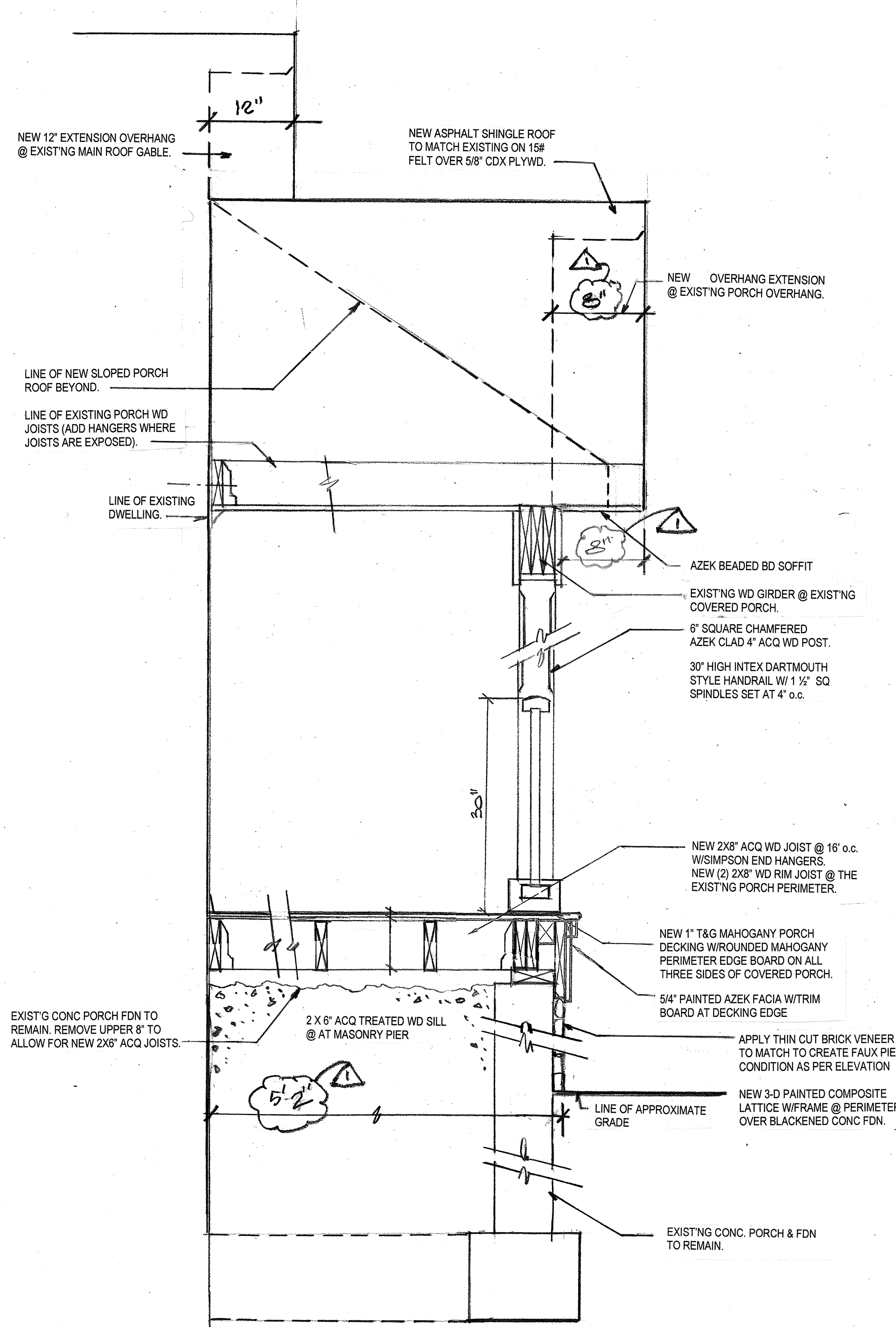
Block #209, Lot #13

Use Group: R5
 Construction Type: 5B

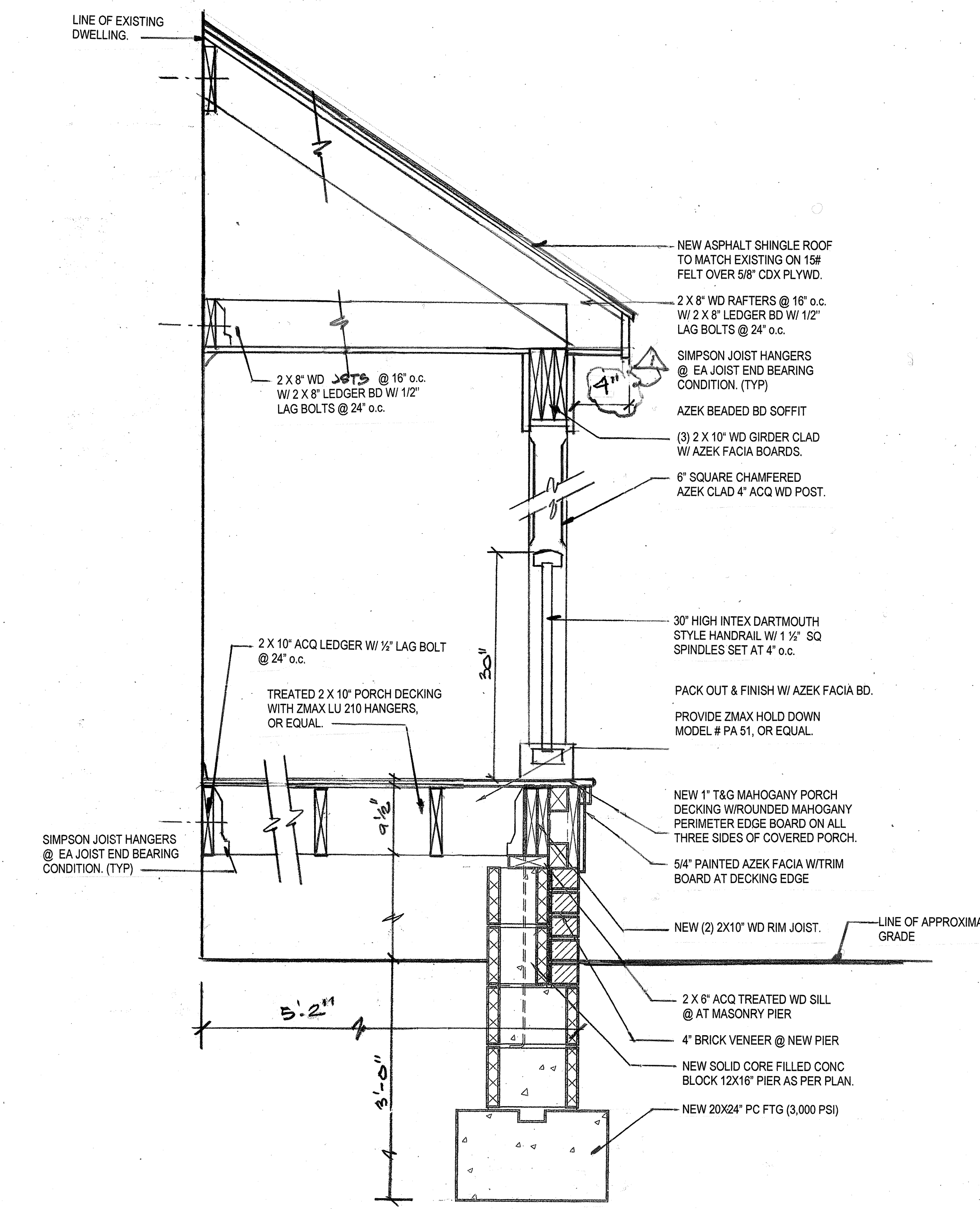
PROJECT NAME
Harrigan Residence
 59 Heck Avenue
 Ocean Grove, NJ

DRAWING TITLE
Front Porch Section Details

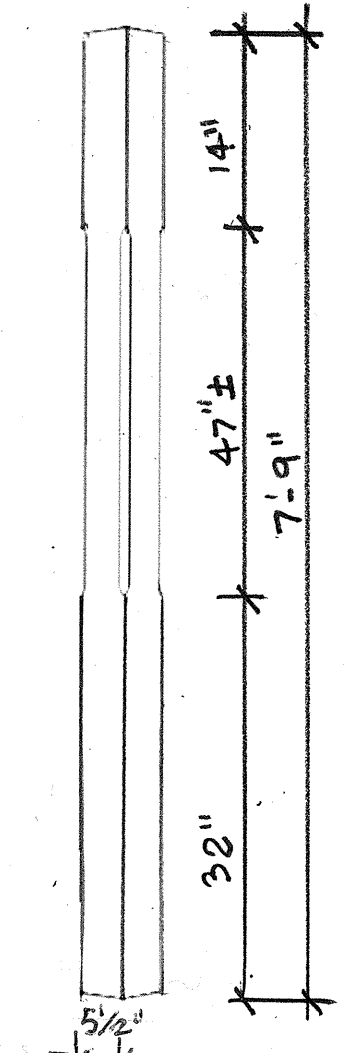
SCALE: As Noted JOB No. 20220905A
 DATE: 4/18/22 DRAWING No. **A5**
 DRAWN BY: *MP*
 CHECKED BY: *MP*



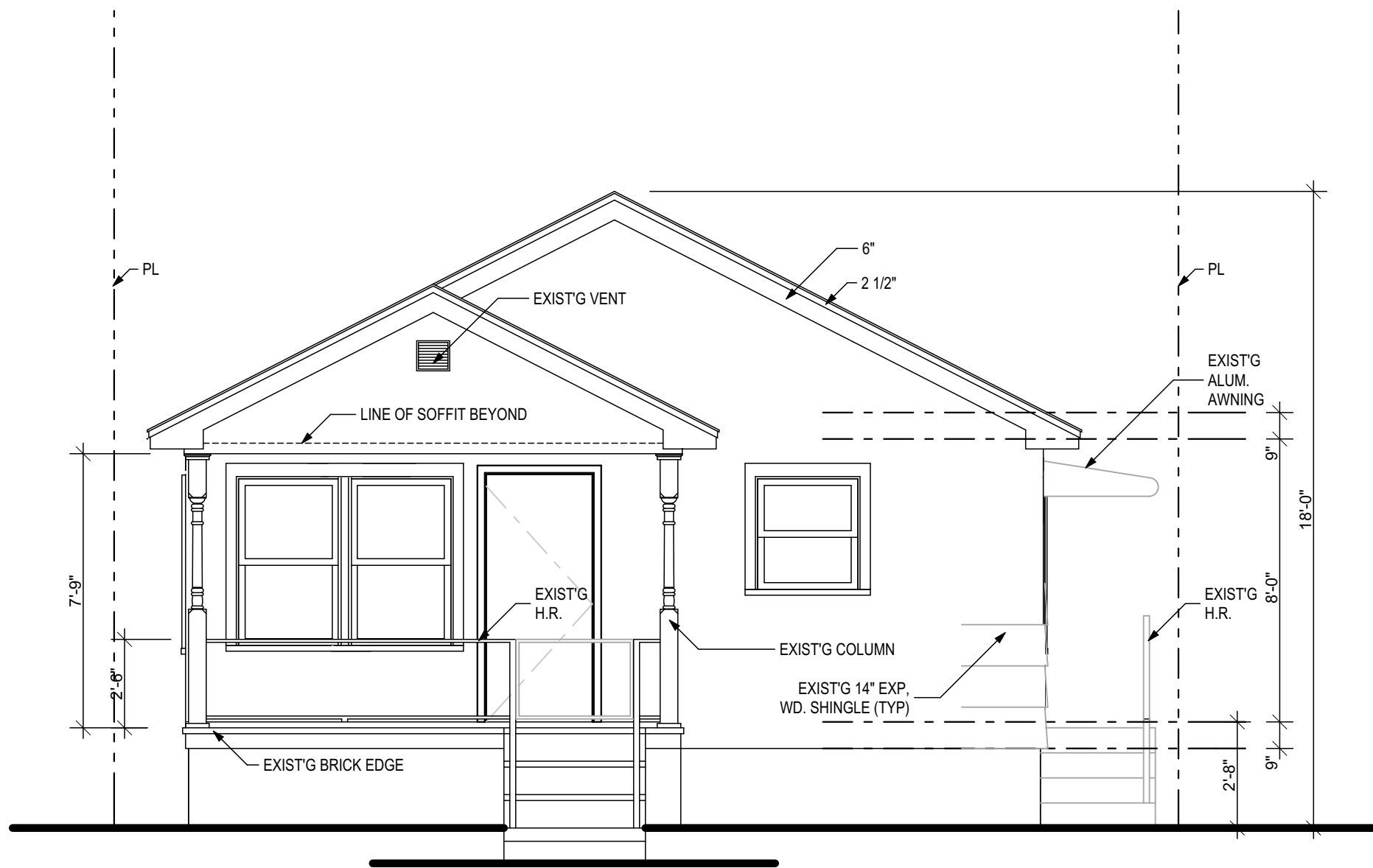
Existing Porch Section Detail
 Scale: 1" = 1'-0"



Porch Section Detail at Addition
 Scale: 1" = 1'-0"

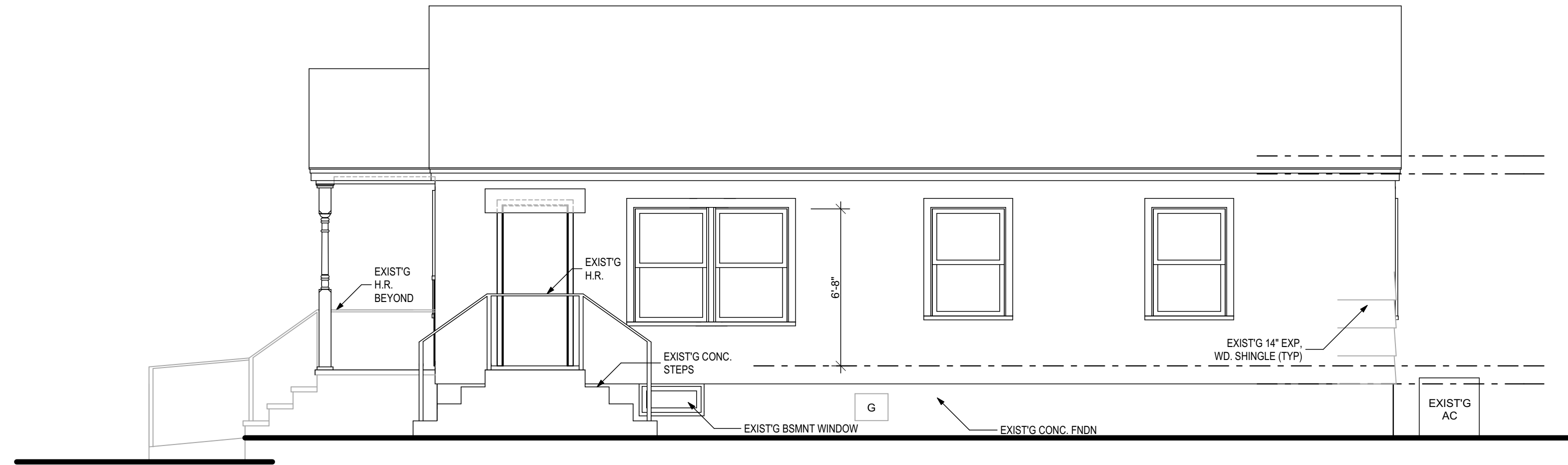


Porch Column Detail
 Scale: Schematic/Not to Scale



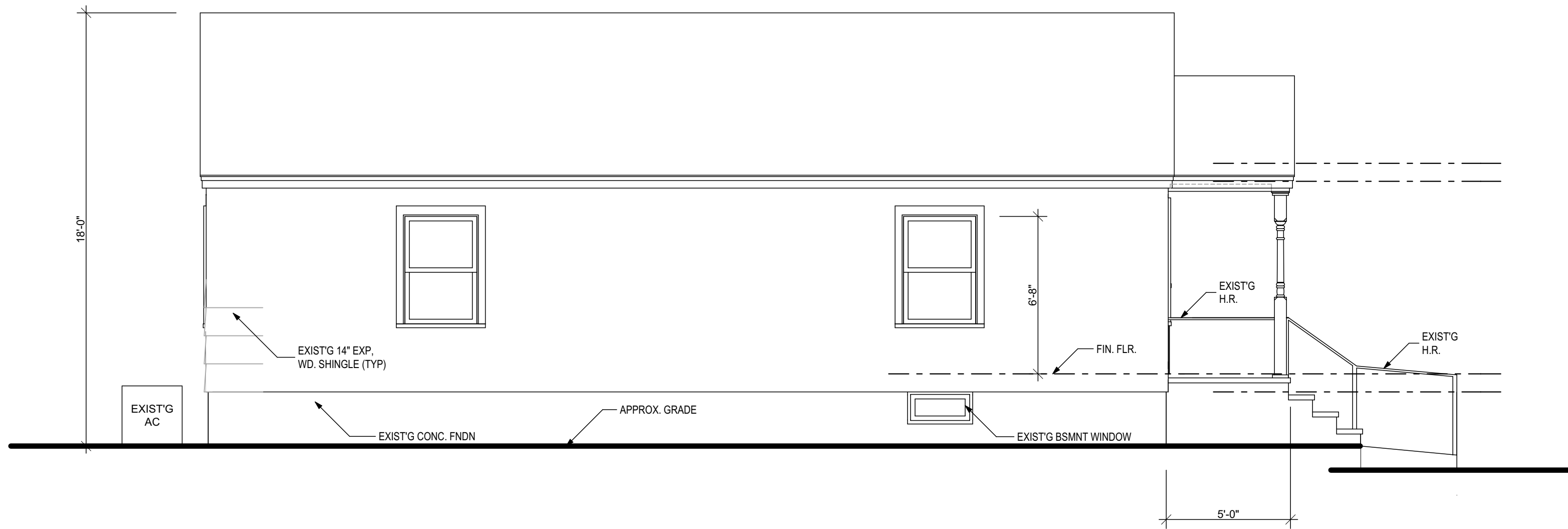
SOUTH ELEVATION

1/4" = 1'-0"



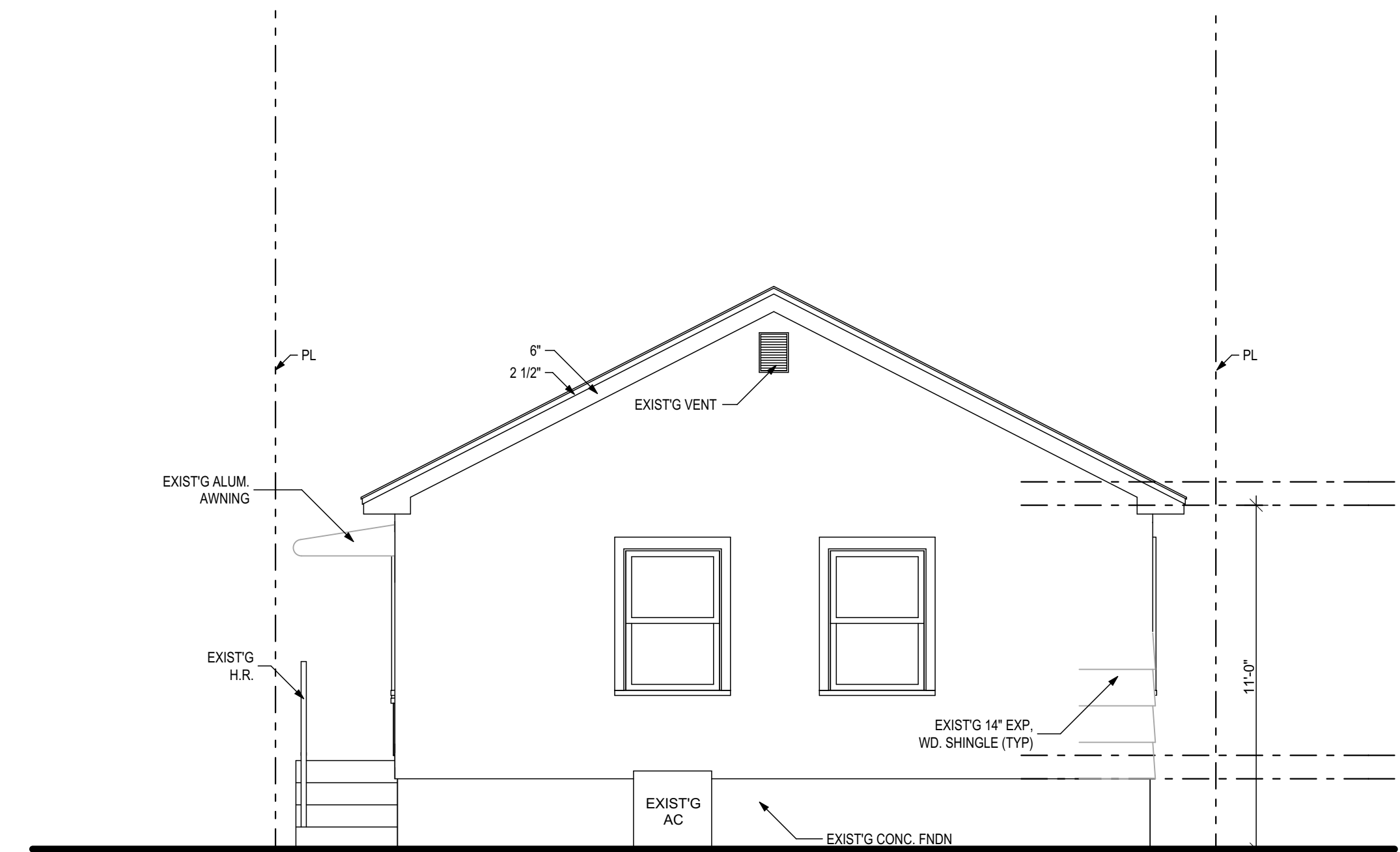
EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"