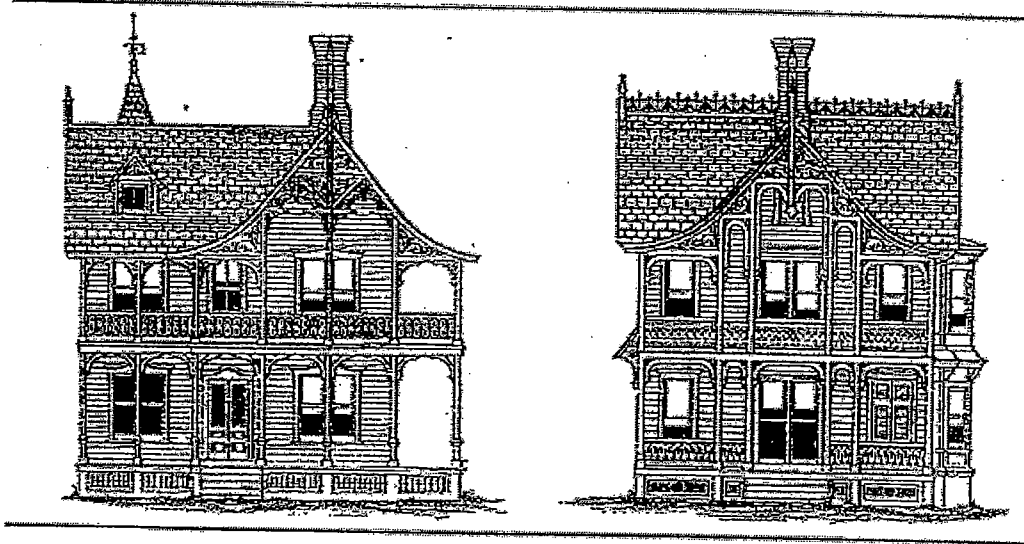


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**Ocean Grove Historic District  
Architectural Design Guidelines  
*For*  
Residential Structures**



*Prepared for:*  
**The Township of Neptune  
Neptune, New Jersey**

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**The Historic Preservation Commission  
Of Neptune Township**

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# Ocean Grove Residential Structures -Facade Design Guidelines

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# Ocean Grove Residential Structures -Facade Design Guidelines

## I. Facade Design Guidelines Overview

### A. Statement of Purpose

Ocean Grove's Historic District is a unique and valued architectural asset and national treasure. The Objectives of Ocean Grove Historic District - Architectural Design Guidelines for Residential Structures are to preserve the historic architectural integrity, craftsmanship and heritage of the Nationally Designated Historic District and encourage architectural solutions which will *"Recapture the Spirit of Ocean Grove"*.

The Historic District of Ocean Grove is defined as the entire area within the boundaries that is legally known as Ocean Grove. This includes all structures, grounds and amenities within those boundaries.

The Purpose of the Ocean Grove Historic District - Architectural Design Guidelines for Residential Structures is to expand upon Section 507 "Historic District Streetscape Design Standards" and Section 508 "Historic Preservation Design Guidelines" of the Neptune Township Land Use Ordinance. It is intended to assist residential property owners and reviewing authorities with a single reference which addresses various facade design considerations and parameters for all proposed architectural improvements and facade treatments.

The Design Guidelines are intended to serve as the basis for review by local authorities in all architectural facade design approval decision-making and to define the significant elements of a building's appearance and establish standards for preserving and enhancing those elements.

The Design Guidelines address repairs, restorations, renovations, alterations, additions and maintenance to existing historic building facades, as well as design parameters for all proposed new construction within the Historic District in order to retain the aesthetic integrity of the community.

The Design Guidelines, as outlined within this handbook provide architectural examples, details and standards which serve as a guide to residential building property owners in the implementation of all exterior facade improvements associated with all exterior repairs, restorations, renovations, additions, new construction or maintenance, but do not regulate the Owner's or Occupant's selection of interior design, floor plan, finishes and materials.

The Design Guidelines were set forth to include a variety of appropriate and historically acceptable building facade treatment design options and suggestions which may be referenced during the design process.

## **B. Applicability - *Do these Guidelines apply to my project?***

All exterior work performed on or around any existing or proposed single family, townhouse, multi-family residential, religious or recreational structure within the **Ocean Grove Historic District** is subject to and must comply with the standards and intent of **Ocean Grove Historic District Design Guidelines for Residential Structures**, hereafter referenced as **The Design Guidelines**.

Residential structures include all single and multi-family dwellings, all cottages, condominiums, commercial buildings with upper floor (s), or shared residential uses, including all hotels, bed and breakfasts and inns and other residentially occupied building types. Seasonal Camp Meeting fabric tent structures are *exempt* from the standards and requirements of **The Design Guidelines**; however, the permanent portions of the tent structures are not exempt and must comply with all design requirements and preservation considerations.

For commercial structures please refer to the Ocean Grove Historic District Guidelines for Commercial Structures for additional information. All exterior work on commercial properties requires HPC approval.

## **C. The Historic Preservation Commission (HPC) Review and Approval Process Requirements**

The HPC acts in an advisory capacity to the Planning Board and the Zoning Board of Adjustment for Neptune Township, and has final authority in the review of all projects not requiring approval of either of those boards. Upon demonstration of compliance with **The Design Guidelines**, the HPC will issue a *Certificate of Appropriateness*.

All proposed work involving exterior finishes and elements such as paint, color, doors, windows, siding, roofing, exterior fencing, screening, refuse enclosures, sheds, storage facilities, porches and railings will be subject to review by the HPC. The review of proposed improvements, however, is limited to the architectural form and treatments on the exterior of the structure even if interior work is part of the overall scope. Projects with only interior work need not obtain approval from the HPC.

Some simple repair and maintenance projects, such as re-painting of the structure's exterior in the same color(s) for purposes of maintenance, will be issued the requisite *Certificate of Appropriateness* upon an administrative review of the proposed plan or written request.

Most renovations, alterations, reconstructions and new construction projects require a *Zoning and Construction Permit*.

Projects requiring a *Zoning and Construction Permit* are subject to code compliance plan review by the Neptune Township **Construction Code Enforcement**. Prior to issuance of a construction permit all projects requiring a zoning permit must be reviewed and approved by the zoning officer. All applications for a *Construction Permit* from the **Construction Code Enforcement Office** must include the *Certificate of Appropriateness* issued by HPC.

In summary, a *Certificate of Appropriateness* must be obtained from the HPC prior to the procurement of a *Construction Permit* and/or commencement of any "work" whether it requires a construction permit or not. Included in the term "work" is all painting, signage, repair, restoration, alteration, addition or new construction where siding, windows, doors, trim, decorative ornament, porches, balconies, railings, shutters, awnings, fences, exterior lighting or roofs, or any change to any other exterior elements impacted by a proposed change or improvement.

## **D. What to Expect and How to Prepare for an HPC Hearing**

### **1. PREPARATION:**

Be aware that some architectural modifications made to homes in Ocean Grove over the years have been completed in violation or without legal permit. They also may have been completed prior to the establishment of the HPC and violate national, state and local standards. These are not appropriate examples for future renovation, restoration or preservation.

In all cases, Owners and Architects and other design and construction professionals should research the availability of historic photos or other references which may specifically contribute to the effort of ascertaining original designs and details pertaining to the Applicant's property. Restoration, replication or reconstruction of original materials and ornamentation is most desirable and highly encouraged.

Residential property Owners and Architects should become familiar with existing historically appropriate structures within the **Ocean Grove Historic District** in order to select and design improvements. Technical review workshops, available by appointment, with the HPC may be helpful in this effort.

All exterior work performed on any existing or proposed single family, townhouse, multi-family residential, religious or recreational structure requires HPC approval.

### **2. APPLICATION:**

Applicants shall apply for a *Certificate of Appropriateness* at the Construction and Code Enforcement Offices of the Township of Neptune or on the web at [www.neptunetownship.org](http://www.neptunetownship.org)

### **3. REQUIRED INFORMATION:**

Depending on the scope of work proposed, the applicant will be required to submit with the application all architectural plans, sketches, photographs, color and material samples and any other useful references for review by HPC in advance of the hearing date. When scope of work includes any site work, demolition, addition or new construction... a site survey plan is required.

### **4. TECHNICAL REVIEW:**

The applicant must complete the application for Technical Review. Following the Technical Review the applicant will be provided with a public hearing date before the HPC at the Neptune Township Municipal Building. There are no fees required. *For more extensive "work", a conceptual pre-application planning session with two or more members of the HPC, may be appropriate.*

**5. PUBLIC HEARING:**

Each HPC hearing will have multiple applicants presenting their proposed improvements. All applicants, their contractors and architects are encouraged to be familiar with **The Design Guidelines** prior to their appearance before the HPC. The applicant and/or their representatives will be sworn in as to the truth and completeness of their testimony and presentation. **The Applicant or their representative will then speak and provide a detailed presentation of the proposed scope of work.**

Applicants are urged to be prepared to demonstrate compliance with **The Design Guidelines** through submission of manufacturer's material and color samples and any sketches, renderings, plans, streetscape photos and project photographs that will assist the HPC in making a decision. All new multi and single-family construction, renovation, alteration and proposed addition will require drawings prepared at a scale not less than a 1/4" to 1'-0". Professionally prepared construction documents shall be signed and sealed by an Architect.

**6. ATTENDANCE:**

It is highly recommended that the Applicant be present to address any questions. An Architect, Contractor or Attorney may accompany the Applicant. Attendance by the Architect or qualified Contractor is always encouraged. Presentations may be made by the Architect, Contractor, Attorney or other Owner appointed representative in the event the Owner is unable to attend. Absence may cause deferment. However, for clearly documented minor applications, attendance is not required.

**7. DETERMINING COMPLIANCE:**

The HPC will review the application for compliance with:

- a. The Design Guidelines.
- b. Original Architectural Style: How well the proposed work conforms to the building's original architectural style and choice of appropriate colors, material and ornamentation.
- c. Streetscape: The HPC will consider the effect of the proposed work on the historic preservation and enhancement of the Owner's property, adjoining properties, and the **Ocean Grove Historic District** as a whole.
- d. Relocation of Structures: The HPC will also consider the mass, proportions, architectural style, rhythms, and relationship to the size and scale of the relocated building and the structure's new surroundings. Prior to relocation of the structure the HPC will make a field inspection of the proposed site to determine that the site and its surroundings are appropriate for that building.



- e. New Construction: The HPC will also consider the mass, proportions, architectural style, rhythms and relationship to the size and scale of the proposed building and/or the structure's surroundings.
- f. Combining Structures: The combination of two or more adjoining dwellings or other buildings for residential occupancy will be considered by the HPC but is not preferred. Proposed improvements, which combine adjacent structures, will be considered if the applicant successfully demonstrates sensitivity to adjacent single-family structures and retains the integrity of each structure as visually independent of the other. Essentially, area of the joining of the structures should not be architecturally pronounced, nor become an imposing new element, nor visible to public view as an inappropriate new element.
- g. Demolition: *The demolition of existing structures in Ocean Grove is contrary to the mission the Historic Preservation Commission and any demolition must meet rigorous criteria during the review process.* Requests for demolition will be heard on a case by case basis and merits of each request shall be considered. Refer to Section 907 of the Neptune Township Ordinance for Requirements for Demolition in the addendum section of the guidelines.
- 8. **APPROVALS:**
  - a. The Certificate of Appropriateness: Once the application is approved by the HPC and all required information and requirements are provided and completed, the applicant will usually be provided with the Certificate of Appropriateness from the HPC within 10 calendar days of the approval meeting date.
  - b. Deviation from the Approved Plan: Any deviation from the approved plan will render the Certificate of Appropriateness null and void. All changes must be approved by the HPC which may require a re-application and attendance at an additional meeting. In order to assist in this "re-certification", clearly documented changes may be administratively approved by HPC.

*All projects must be in compliance with appropriate Planning, Zoning and Land Ordinance laws prior to review by the HPC.*

Proposed improvements must be in compliance with all aspects of the Neptune Township Land Development Ordinance and all Construction Codes as set forth by the State of New Jersey and enforced by the Neptune Township Construction Code Enforcement Department (Building Department) at the time completed construction documents are submitted for Construction Permit.

# Ocean Grove Residential Structures -Facade Design Guidelines

## II. Architectural Facade Design Guidelines

Residential property Owners and Architects should become familiar with existing structures within the **Ocean Grove Historic District** in order to select and design improvements appropriately. Pre-design workshops, available by appointment, with design professionals or **HPC** may be helpful in this effort. Be aware that some architectural modifications implemented in Ocean Grove over the years have been completed prior to the ordinance establishing the **HPC** or executed in direct violation of the ordinance. Such modifications or alterations in violation of the ordinance are not appropriate examples for future renovation, restoration or preservation.

In all cases, Owners and Architects and other design and construction professionals should research the availability of historic photos or other references which may specifically contribute to the effort of ascertaining original designs and details pertaining to the Applicant's property. Restoration, replication or reconstruction of original materials and ornamentation is most desirable and highly encouraged.

### A. Guidelines in Brief

The **Design Guidelines**, which follow in Section IV, are intended to assist in the determination of appropriate architectural treatments within the **Ocean Grove Historic District**.

In brief, **The Design Guidelines** set forth the following:

1. All proposed residential building repairs, maintenance and improvements to existing buildings or structures and all proposed renovation, alteration, addition and new construction within the **Ocean Grove Historic District** should be consistent in style(s) of the "*Victorian Era*" and "*Seaside Vernacular*" of this nationally designated landmark community.
2. All proposed residential building improvements should complement the architecture of neighboring structures and businesses, especially where other improvements have already been implemented to *preserve, repair, restore, or reconstruct* historic facades, architectural ornamentation or other exterior elements.
3. Where possible, all original exterior wall materials should be *repaired, restored or reconstructed*, in that order, rather than being replaced with alternate or modern day siding or surfacing materials. Where possible, probes to uncover original materials should be performed to ascertain the "*restorability*" of the original materials if they have been covered by layers of materials over the years.

4. All architectural treatments applied to existing structures should *reflect the form and intent* of the original design.
5. Avoid demolition of restorable architectural facades and original designs. The layering or covering of original sidings and facings when revealed may be sound and worthy of restoration. The removal of ornamental trim and details should not be considered unless components are deteriorated. Always replicate details in accordance with **The Design Guidelines**. Where architectural elements and ornaments are removed or missing, accurate reproduction and replication is encouraged. Also beware not to pre-date the original building's date of construction when choosing new architectural details
6. New construction should repeat and emulate the design styles and themes appropriate to Ocean Grove's architectural heritage. All architectural solutions should be attentive to the sometimes elaborate and other times simple treatments of covered porches, colonnades, high peaked gables, towers, turrets, dormers, archways, recessed or covered entries, decorative glass, repetitive window openings, sash configurations, operable shutters, corbelled cornices, transoms and other decorative architectural elements and details.
7. Where applicable, proposed improvements shall *not infringe* upon the delineated "Flare" area and its historical importance to the Ocean Grove Historic District.

*The "Flare" is a widening of the Avenues to the sea, between Ocean Avenue and Central Avenue, and is a unique and rare example of urban planning. The "Flare" area is a separate parcel of land which is owned by the Ocean Grove Camp Meeting Association and is not a part to the lot holders leased areas adjoining the "Flare".*

**The following are 3 points are key design issues which the Applicant must be fully aware when seeking a Certificate of Appropriateness.**

- Ocean Grove is historically known as a community of **open air porches**. Reconstitution of open air porches, balconies as well as gable forms and associated ornament is fundamental to many of the earlier period designs of the 1880's through the early part of the Twentieth Century.
- Later Pre-World War II era designs should reflect the level of craftsmanship and use of hip roofs, dormers and detailing representative of the growth and development of the American architectural landscape. Simply adding "gingerbread" ornamentation associated with Victorian Era Architecture to these later period dwellings is inappropriate.
- Proposed improvements should avoid the introduction of inappropriate added floor additions or "**Pop-ups**" which alter historic roof lines and configurations and are generally considered inappropriate alterations.

## Ocean Grove Residential Structures -Facade Design Guidelines

### **III. Ocean Grove's Historic Architectural Periods and Styles**

Architectural styles commonly found in Ocean Grove Historic District include Bungalow Cottage, Italianate, Stick Style, Gothic and its variations, Queen Anne, Eastlake, American Four-Square, Georgian, Craftsman and Colonial Revival Styles as well various other Pattern Book Victorians. All of these styles are within the defined bounds of the "Victorian Era of Architecture". However, much of the architecture in Ocean Grove may be characterized as a "Vernacular" style, or more specifically...a "Seaside Vernacular".

The "Vernacular" style, traditionally built by local artisans or craftsmen, is actually a mixture of architectural styles which can be found within a given geographical or cultural area. The "Vernacular" style structures were often either simplified or combined other styles and sometimes borrowed elements from various architectural periods. For the purposes of these Guidelines the appropriate Vernacular will be the style of homes that were built in Ocean Grove during the years of 1870 to 1930.

In an attempt to better define the architectural eras of Ocean Grove, one must recognize that by designation as a historic district, essentially *all structures are deemed significant...regardless of age or style*. The residential structures, however, may be categorized as to historic significance in four major classifications:

#### A. Key Structures

Includes those dwellings originally constructed between the 1880's and 1910. Those consisting primarily of Eastlake, Gothic Revival, Italianate, Stick Style, Queen Anne and Early Summer Cottage Vernacular styles.

#### B. Contributing Structures

Includes those dwellings originally constructed between the 1910 and 1941 consisting primarily of Colonial Revival, Shingle Style, American Four-Square, Bungalow/Craftsman and other Late Pattern Book Victorian.

#### C. Supporting Structures

Includes those dwellings constructed after 1941 to date which sensitively replicate, emulate or complement the historic styles of the Victorian Era or the basic form and detail of the historic dwellings which preceded them.

#### D. Other Structures

Includes those dwellings constructed after 1941. These may not specifically contribute to the overall historic styles or craftsmanship of its preceding historic dwellings. Key and contributing structures are most carefully scrutinized during the HPC review process.

Overall, the many fine examples and expressive variations from both the late 19th Century Victorian and early 20th Century architectural eras makes Ocean Grove a very special place with a wealth in architectural inspiration and interest.

Examples of historic period prototypes and various Key and Contributing dwelling styles follow in **Section V. Illustrations of Appropriate Architectural Treatments and Styles.**

## Ocean Grove Residential Structures -Facade Design Guidelines

### **IV. Residential Architectural Design Guidelines**

All proposed architectural improvements within the Ocean Grove Historic District are to be consistent with the described "*Victorian and Seaside Vernacular*" style.

The following Design Guidelines are intended to assist in the architectural design for the preservation, maintenance, repair, restoration, rehabilitation, renovation and new construction through simple suggestions and illustration.

#### **A. Positioning, Setbacks and Preservation of Historic "Flare"**

The "Flare" area is the widening of each of the Avenues to the sea, between Ocean Avenue and Central Avenue in Ocean Grove. It is a unique and rare example of urban planning. The set back land is a separate parcel of land which is owned by the Ocean Grove Camp Meeting Association and not a part to the lot holders leased areas adjoining the "Flare" area.

The "Flare" area must be preserved. Where applicable, proposed improvements shall NOT infringe upon the delineated "Flare" and its historic importance to the Historic District of Ocean Grove.

According to a statement of significance included in the Nomination Form for National Historic Places; the use of an urban planning technique such as the "Flare" in the 19<sup>th</sup> Century is significant not only on a national scale but a global scale as well.

The "Flare" area was designed by the founders of Ocean Grove to provide natural vistas, ocean views and encourage sea breezes for the homes along those avenues.

The importance of the "Flare" and the associated streetscape is highlighted in the minutes of an OGCMA meeting from October 14<sup>th</sup>, 1879 which discusses the setback area and the prohibition of "buildings or structures" being placed into the area between the lot line and the new sidewalk.

Over the years there have been many attempts to encroach into the "Flare" and this too has been addressed through-out the past century. At the same meeting of the OGCMA in 1879 it was determined that permission would be granted to "*Ornament with shrubbery and flowers any space which may be made between the lot lines and the new side walk*".

Additionally, the Neptune Township Land Development Ordinance Section 413.02 further illustrated the historical importance of the "Flare" and limits any encroachment beyond a 6' sidewalk, flowers, or other similar ornamentation, no items or structures may be placed within or may project into the "*Historic Flared Avenue Open Space*".

It is the opinion of the HPC that the "Flare" area is of great historical and aesthetic value to all current and future residents of Ocean Grove. Its design is the basis for the streetscape which exists throughout the community. The HPC, therefore, has an obligation to carefully consider any encroachment into the "Flare".

In accordance with the Township of Neptune - Land Development Ordinance, Section 413.02 Flared Avenue Open Space Areas - articles A, B and C read as follows:

1. Purpose

The HD-O Zone District is Subject to special setback provisions dating back to the late 1870's, providing for a flared setback that widens toward the ocean from Central Avenue to Ocean Avenue. This flared setback is a unique and invaluable resource that is recognized within planning, urban design and historic preservation circles as one of the first evidences of this type of streetscape treatment in the country.

2. Ornamentation

Aside from an access walkway and sidewalk no greater than six feet in width, shrubbery, flowers and other similar ornamentation installed and maintained at a height of less than thirty (30) inches, no structures may be placed within, or may project into, the area defined as the Historic Flared Avenue Open Space area. The area between the curb and the sidewalk shall be maintained as a planted grass strip.

3. Vehicles

No vehicles of any type may be parked within a flared avenue open space area. This shall not preclude the parking of vehicles with the established public right-of-way.

As to other setback issues, existing structures were often built up to and even straddle over property lines. Positioning of proposed additions are, however, limited. Specifically, additions must be within defined front yard property lines and in compliance with zoning.

Proposed additions may be constructed up to a zero feet from rear and 2 feet from side property lines but exceptions are not uncommon due to various field conditions and circumstances requiring further review by HPC and Zoning.

## **B. Form, Height and Mass**

Proposed renovations of residential buildings should *recreate or reconstitute* the original form, height and mass or *maintain* the characteristics of the current structure where form, height and mass are either historically or architecturally significant.

In brief, the three-dimensional form, height and mass of any residential building or structure either undergoing repair, maintenance, restoration, renovation, alteration, addition or in the case of new construction, should:

1. Follow a pattern of site utilization similar to adjacent buildings while observing all setback regulations.
2. Position all proposed additions so as to extend from the rear or sides of the building unless demonstrated to be beneficial to consistency in alignment with adjacent dwelling fronts and/or beneficial to the historic context of the streetscape or district.
3. The introduction of inappropriate second or third floor additions or "Pop-ups" is discouraged.
4. The enclosure of any front porches and covered entries enclosure shall be deemed unacceptable.
5. Demolition of restorable architectural facades and original forms is unacceptable.

In Ocean Grove "habitable attics" above the second floor is common and typical in the Seashore Vernacular style of Architecture found in Ocean Grove. It is important to seek an opinion from the Building Code or Zoning Official in Neptune Township as to the proper interpretation with respect to living space above the second floor. Additionally, the architectural design integration of towers, turrets, cupolas, covered upper level porches and other similar features, is encouraged.

Multi-family dwellings are subject to additional zoning review where additions, assembly or joining of structures is proposed.

## **C. Roofs Types**

Roofs consistent with the Eastlake, Gothic Revival, Colonial Revival, Italianate, Stick Style, Queen Anne, American Four-Square and Pattern Book Victorian as well as Victorian Eclectic roof designs are most common to many of the existing residential buildings.



Towers, turrets, various gables and dormers are also often featured in these designs. Low and high profile hip roofs and high pitched gable roofs are most common.

In brief, the roof type of a residential building or structure undergoing repair, restoration, renovation, alteration, addition or proposed as new, should:

1. Retain and restore all existing historic roof lines, shapes and form which are consistent with the architectural styles listed above. Decorative chimneys, weather vanes, and ornamental roof cresting should be preserved.
2. Repeat and replicate existing elements of the original design where additions or alterations are proposed. **The design of all new gable roofs should observe proportions and roof pitch consistent with period prototypes.**

The restoration or inclusion of new dormers, roof eyelids or other similar roof elements consistent with architectural ornamentation and style is encouraged.

The introduction of modern skylights and solar collectors visible from the street are not acceptable.

3. Utilize either formed copper, slate, wood shake or dimensional asphalt shingles on all pitched roof surfaces. Roofing materials which emulate wood or slate shingles are acceptable. The choice of material type in the application of rolled or built-up roofing on flat roofs is unrestricted.

4. Avoid use of modern standing seam factory painted metal roofing, and shingles of inappropriate historic period color, such as white or green.

5. Avoid introduction or application of any new mansard type facade treatments without historic precedence.

6. Avoid placement of TV Satellite and other mechanical devices visible to public view.

7. Avoid removal or alteration of historic or original roof overhangs, pent roofs, dormers, gables, soffits, eyelids, cupolas, turrets and towers unless requiring reconstruction and so approved by the HPC. Such proposal for removal without justified cause or plan for replacement is unacceptable.

#### **D. Doors**

The size, shape and location of the door and its aesthetic relationship must be proportionate to the dwelling's scale and be historically correct. **This is very important.**

The retention of original or introduction of new transoms or arched windows should be appropriate to the structure and architectural style and period.

Specifically, the door or doors, of a residential structure undergoing repair, restoration, renovation, alteration, addition or proposed as new, should:

1. Retain the original size and shape of the doorway, and preserve or reconstitute the design of transoms, fanlights, sidelights, related pilasters, entablatures, hardware and trim. Double leaf doors are acceptable where application is appropriate.
3. Retain or replicate the panel and glazing configuration of the door design as per the original or otherwise determined to be historically appropriate.
4. Reflect historic proportions at arched or squared headers.
5. Avoid all unfinished aluminum or anodized aluminum doors and windows which are unacceptable in any residential application.
6. Avoid use of doors featuring modern and artificial glazing patterns and all sliding glass doors and doors commonly found in suburban sub-divisions with contemporary glazing patterns. All such doors are unacceptable.
7. Be fabricated of hardwood, or other solid core wood. Metal or vinyl clad doors with a solid paint color will be considered but are discouraged. Natural wood finish doors are preferred. Door trim and surrounds may be ornamented, grooved or be of simple design. Door trim and surrounds should be painted wood or synthetic polymer type materials which accurately replicate appropriate wood trim detail. All door surrounds should harmonize with exterior trim and window surrounds.
8. Colonial style doors, generally with 6 or more recessed or raised panels or with cross buck pattern or an "x" shaped panel trim are not acceptable.
9. Avoid change of existing or historic door opening to accommodate new or stock door size. Use of such door and alteration of any such door opening will be deemed unacceptable by the HPC.
10. Avoid clip on muntins, door grilles or grids. True divided light door assemblies are preferred. Simulated divided light (SDL) door glazing pane assemblies are acceptable.
11. Where a garage currently exists the garage door should be "*Carriage House*" in type and design and may be overhead, swing or folding type. "*Carriage House*" garage doors utilizing solid wood panels or narrow vertical tongue and groove wood facing are preferred.

"*Carriage House*" garage doors may be fabricated with either decorative cross board supports or be of raised panel designs. The garage doors may also feature true divided lights where natural light or visibility into the garage is required.

12. The use of modern day unfinished aluminum storm/screen doors is unacceptable. Acceptable storm/screen doors should be Victorian style with decorative elements common to that era, or be of plain wood door frame construction with insect screen inserts.

Screen door frames should follow the general design and disposition of the inner door to the extent feasible and be constructed of either wood with natural finish, wood with painted finish or other material appropriately replicating period style screen doors.

Color coordination of screen doors with window trim and sash is always preferred.

13. Barrier-free accessibility requirements may mandate the replacement of narrow original doors with a minimum door width of 32 inches or even require introduction of a ramp. In such cases, intervention and placement should be sensitive to the character of the structure and be minimize visual impact. Historic hardware and trim should be reused to the extent feasible.

## E. Windows

Windows express the identity of a building more than any single feature. Altering the window shape, pattern and rhythm may result in the loss of the building's architectural identity and cause aesthetic disfigurement.

The window, by definition, includes the window frame, sash, glazing, decorative glass, panes, sills, heads, moldings, exterior shutters and associated window hardware.

The late 19th Century and early 20th Century buildings feature a wide variety of window configurations both in residential and commercial building types, however, most prominent is the double-hung window. Double-hung windows are rectangular or low-profile arched top sash with combined sash configurations of either 2/2 (*two over two*), 1/1 (*one over one*), 2/1 (*two over one*), or other multi-paned Victorian style glazing patterns.

Casements, jalousie or other inappropriate or historically unprecedented sash combinations such as 12/12 (*twelve over twelve*), 6/2 (*six over two*) or 8/4 (*eight over four*), bow and composite picture windows are not acceptable.

Proposed replacement with inappropriate window types or sash configurations will deem the application unacceptable by HPC.

All windows in areas of new construction or the introduction of new window locations in any new residential building or structure will require compliance with the recently adopted **2000 International Residential Code - New Jersey Edition** and any amendments, supplements, revisions or updates thereto, and any other applicable sub codes.

In accordance with these regulations, windows are required to be manufactured of impact resistant (triple plated) glazing and meet all requirements as set forth by that code. Specifically, window and door openings and use of impact resistant glass must be as per Section R613.0 of that code and comply with the Large Missile Test ASTM E 1996.

Simply, the use of impact resistant glass is now required for all residential construction within one mile of the oceanfront where new construction is proposed, or new window locations are indicated in renovations of existing dwellings, or existing window openings are specified to be enlarged.

However, options to the use of impact resistant glass are available to the residential property owner. In lieu of compliance, windows may be protected from wind borne debris in accordance with Section R301.2.1.2., which allows for storage of pre-cut plywood panels and necessary fasteners on-site in the event of an anticipated storm. A list of required fasteners and spacing for the plywood option is provided in Table R301.2.1.2., of the **2000 International Residential Code - New Jersey Edition** and any amendments, supplements, revisions or updates thereto, and any other applicable sub codes.

Windows with impact resistant glass may have historically unsuitable frames. Consultation with your design professional and/or Neptune Township Construction Code Official is recommended.

As to **The Design Guidelines** specifics, windows in residential buildings or structures undergoing repair, restoration, renovation, alteration, addition or proposed as new, must:

1. Make every effort to repair and restore all windows and the associated components. If replacement is necessary the replacement should duplicate the original design and be consistent with the time period. In the event duplication is either technically or economically unfeasible, a simplified version will be considered by the HPC when window size and shape is of the same proportion or configuration appropriate to the historic character of the dwelling.
2. Retain existing window locations in existing structures.
3. Retain the original size and shape of all existing window frame and sash.
4. Preserve or reconstitute window transoms, associated hardware and trim.

5. Retain or replicate the glazing configuration(s) as per the original or otherwise determined to be historically appropriate. Introduction of art glass must be appropriate to the architectural period.
6. Avoid installation of windows which are inappropriate types, usually including contemporary casements, hopper or awning types, greenhouse window boxes and all variations of jalousie.
7. Avoid clip on muntins, window grilles or grids. True divided light window pane assemblies are preferred. Simulated divided light window pane assemblies are acceptable.
8. Design and position new windows to reflect historic patterns that complement adjacent dwellings.
9. Fabricate all replacement or new windows in historic proportions. Windows should be manufactured in wood but could be clad in either metal or vinyl as an Owner's choice. However, wood windows are always preferred.
10. Avoid unfinished or anodized finished aluminum windows, frames, trim and hardware. Such use or application is historically incorrect.
11. Avoid use of modern window types and glazing patterns such as skylights and sliding glass doors. Hinged double leaf or traditional French Wood doors will be considered where application is architecturally appropriate.
12. Unfinished aluminum storm/screen windows solutions are unacceptable. Acceptable storm/screen windows are to be Victorian style with decorative elements common to that era. Storm/screen frames should follow the general design and disposition of the inner window sash. As a option, screen frames may be as fabricated of either metal with matching window color painted finish.
13. Avoid installation of window shutters which are either too short, long, wide or narrow. When applied, shutters should either be functional or give the appearance of being functional with hinged hardware. Shutters may be attached to the window frame but should always be dimensioned so as to be just above the sill and below the lintel. Shutter width should also be calculated so that, if closed, the two leaves would meet at the center line of the window. Shutters are preferred to be wood, however, if formed of aluminum or vinyl or other synthetic material, shutter width should be at least 1 inch thick.

## **F. Exterior Sidings, Finishes, Facings and Materials**

In general, the HPC discourages the replacement, layering or covering of original wood siding materials with synthetic materials. Demolition of restorable architectural facades is discouraged unless replication is proposed.

New siding should be of wood shingle and board's representative of typical original patterns and applications found within Ocean Grove.

Applicants are encouraged to investigate and verify conditions of the original siding material on dwellings prior to the application to HPC. Restoration of wood or replacement of wood siding finishes, facings and materials is *preferred and encouraged!*

Use of alternative, maintenance-free vinyl or other synthetic siding products presents several common questions.

**Can I use vinyl siding? Can I clad over the existing siding? Can I clad over window and door surrounds and other exterior trim? What other materials will be considered acceptable?**

In the event a vinyl or other similar polymer or synthetic material is used, by choice of the Owner, the product must comply with all aspects as detailed in **The Design Guidelines**.

If the use of new synthetic material is to be used to reface a structure in Ocean Grove the home owner is encouraged to rediscover and reproduce the original type and style to the fullest extent possible.

In brief horizontal vinyl siding boards must be seamless in length and application; be of an appropriate narrow 4 1/2 to 5 inches in exposed face dimension; and be smooth or matte faced in texture and finish. Stamped wood grain is not acceptable. Shingles may be perfect cut, split, scalloped fish scale, diamond in design or other appropriate period style and configuration.

Cladding and overlaying of existing siding with vinyl siding is discouraged. Cladding increases the depth or profile dimension of the siding which causes problems at points of trim and window and door surrounds. Also, covering a problem with vinyl siding material simply hides the problem and may create new ones. Overlaying does not resolve issues of rot and infestation. Removal of problem siding may actually expose well preserved and handsome details and siding worthy of preservation."

However, where *asbestos shingle* exists, the asbestos siding may either be removed and disposed by qualified contractors or encapsulated by siding overlay. This is the one exception to the use of such cladding techniques. Contact your local Construction Code Enforcement Official or Contractor for proper disposal options and methods.

Exterior materials used in new construction should be compatible with historically appropriate materials and the neighboring buildings. Wood or synthetic materials in the form of wood shingle, clapboard, board and batten, or vertical beaded boards.

It is also important to note that cladding of window and door surrounds and trim with aluminum or vinyl is unacceptable. Cladding obscures detail and creates unsightly corner joints. Cladding and enclosure of overhangs is strongly discouraged. Open and expressed overhang details, rafters, and rafter tails, common to the various architectural period styles, are preferred and encouraged.

As to other materials, the proposed use of antique red, brown or other similar used brick veneers, or appropriate stone facings is acceptable, however, use of glazed, split face, yellow or otherwise colored brick masonry units is unacceptable. Piers and exposed foundations may be stucco on concrete block, brick masonry, or rough cut stone.

Specifically, the exterior wall treatment of all residential building or structures undergoing repair, restoration, renovation, alteration, addition or proposed as new, should:

1. Make every effort to repair and restore all existing wood siding. Where siding has been layered or covered by aluminum or vinyl siding or other synthetic material, a demonstrated effort must be made in the discovery of the condition of any original siding or facing materials prior to proposing re-siding. Where asbestos shingle exists, the Owner has the option to either have the material properly removed and disposed or encapsulated by covering with a new siding material.
2. Replicate and replace the existing form and dimensions of the siding, where determined to be deteriorated or missing. Replacement wood siding materials should match the original. Replacement with synthetic material will be considered where Owner is determined to use such material only if material is of a historically appropriate width and dimension. Acceptable synthetic materials include vinyl and cement fiber shingles or boards.
3. Retain proper clearance dimensions between sill boards, corner boards, cornices, crown moldings at windows and other trim. Layering of siding over existing material is not acceptable. Profile of new siding material *must be* within face of all such trim.
4. Retain, re-instate or incorporate appropriate corner board details in all siding and shingle applications.
5. Avoid covering or capping of window surrounds with aluminum or vinyl.

6. Avoid any use of synthetic siding with simulated wood grain in either re-siding or new construction applications.
7. Avoid any work which obscures, removes or otherwise encases existing cornices, decorative brackets, ornamental overhangs, fascia or soffits.
8. Address re-pointing of all existing masonry joints where mortar has deteriorated or fallen away.
9. Re-set any removed architectural ornament from the existing building or structure upon completion of siding repair or replacement.
10. Avoid all use of exterior synthetic wall panels, long spans of vinyl or wood clapboard siding, painted or stained T-111 vertical grooved plywood panels.

In summary, restoration, replication or reconstruction of original materials and ornamentation is most desirable and highly encouraged.

## **G. Porch and Balcony**

Ocean Grove is known as a front porch community. The predominant feature in most of Ocean Grove dwellings is the full and, in some cases, wrap around porches. The front porch style and the application of "full" porches is appropriate for all proposed improvements to existing homes and in new construction.

Re-opening and restoration of any enclosed porch and balcony is fundamental to the reclamation of the "*Spirit*" of the Ocean Grove Historic District. Once the enclosure is removed, any such porch or balcony must remain open and may not be re-enclosed.

Any new construction should incorporate a full porch and railing detail along the entire street front facade with a minimum of two-thirds of the total porch floor area being useable porch space. Covered porches are preferred. Open air balconies are discouraged.

Whether the scope of porch or balcony improvement is restoration, renovation or new construction, appropriate flooring materials must be specified.

Specifically, all first level porches, visible from sidewalk level, should be painted or stained narrow hardwood plank. Mahogany tongue and groove wood plank material is preferred. Generally, porch flooring planks or boards were painted gray. Existing slate porches at ground level may be restored.

Upper level porches may be either wood or fiberglass plank or sheet membrane to resolve water issues. Fiberglass use on balcony floors is permitted when such applications



is not visible from the street. Fiberglass membrane deck solutions require application of trim boards at the outer edge perimeter.

Porch and balcony flooring treatments at all residential buildings undergoing repair, maintenance, restoration, renovation, alteration, addition or proposed as new, should:

1. Utilize painted or stained narrow tongue and groove wood decking to the extent feasible in all locations.
2. Avoid application of fiberglass or synthetic products from view at sidewalk level.
3. Specify and apply trim boards at the outer edge perimeter at upper levels.
4. Avoid applications of painted concrete, outdoor carpet and ceramic tile.
5. Always be proportionate to the size and scale of the dwelling or structure.

## H. Ornamentation, Columns, Railings, Chimneys and Trim Details

The use of classic elements such as decorative tower elements, gable details, cresting, articulated parapets, ornamental cornices and other features, common to the "*Victorian Era*" and "*Seaside Vernacular*", should be retained, restored, identified as missing and replaced. Incorporation and replication of various commonly used details is encouraged in instances of new construction, where appropriate.

In cases where ornament is lavish, the detailing was often crafted in wood and almost always in an assemblage of smaller pieces. Frills and lacework may be repaired and replicated, especially where pieces have been nailed, glued or screwed together. It is usually possible to remove the deteriorated pieces and replace them with new sound pieces, thereby allowing the trim detail or assembly, to continue its life as part of the building or structure.

Specifically, ornamentation, column, railing and other detailing solutions for either existing or proposed buildings or structures should:

1. Retain, restore or replicate historic architectural elements and ornament including corbelled parapets, decorative cornices, fascia brackets, porch and balcony railings featuring ornamental flat slat spindles or balusters, columns, covered porches, high pitched gables with gable ornament, roof ridge cresting, roof finials, turrets, towers, lattice porch panels, clay chimney pots and ornamental newel post caps.
2. Visibly express structural elements including piers, posts, columns and

changes in floor levels so as to architecturally define building segments from the exterior.

3. Either consider fabrication of exterior ornament and details in wood or opt for replacement with appropriate and equal forms, castings and moldings as currently manufactured in synthetic materials.
4. Avoid vinyl clad, cast aluminum, cast iron, wrought iron railings, and railings that are pressure treated lumber or measure as a nominal 2 x 4 inches in cross section dimension.
5. Verify railing height Compliance with Code. Exemptions based upon historic premises and allowances reviewed and certified by a licensed design professional to assure safety will be considered. A 30 inches minimum high railing is always required where a finished porch deck is 30 to 48 inches above grade.
6. Wood railings are preferred. Balusters must be either turned or jig-sawed flat slat type, or be 2 inches square (actual size allowed 1 1/2 x 1 1/2 inches) and be spaced so as not to permit a space or gap between vertical spindles of more than 4 inches, however, gaps between spindles of 2 to 3 inches may be more appropriate. Iron pipe may be utilized at handrails on early 20th Century buildings,
7. Vinyl coated railings are not preferred but may be acceptable when all of the following design criteria are met:
  - a. *Top and bottom rails, spindles and balusters must accurately depict historic original forms and contours.*
  - b. *End of top and bottom railing guards must be fastened to building, structure, column or newel post without use of metal or vinyl sleeve, pocket or hanger visible to the eye, nor shall any screws or other fastening devices be left visible.*
  - c. *Counter-sink all nails and screws with appropriate plugs and paint or stain to match railing assembly.*
8. Avoid use of vinyl, aluminum, plywood and gypsum board at outdoor soffits, porch and balcony ceilings. Allow for the expression of rafter tails, exposed structural undersides at balconies and handsome narrow tongue and groove wood porch and balcony ceiling treatments where possible.

9. Utilize narrow tongue and groove hardwood boards on all outdoor porches and balcony ceilings. Boards may be painted sky blue, gray or white, be oiled or stained or be varnished.
10. Avoid use of fiberglass, outdoor carpet, poured concrete, brick pavers and modern pressure treated wood plank deck treatments on all porches and entries visible from the street and within general public view.
11. Utilize narrow tongue and groove hardwood boards on outdoor porch and balcony floor decks. Boards may be painted, stained or be varnished. All finishes are subject the further review by HPC.
12. Avoid use of brick, concrete block, cast iron and aluminum posts on porches and balconies, and any post under the size of 4 x 4 inches in dimension except at base piers.
13. Utilize wood, fiberglass or polymer (square, turned, tapered or round) columns. Many pre-molded synthetic architectural ornaments, columns, railings and trim details are readily available for replacement of deteriorated or missing components. Use of such products is acceptable.

Property Owners and Architects should become familiar with existing or proposed structures within the **Ocean Grove Historic District** in order to design improvements appropriately. Pre-design workshops with HPC and their authorized representatives may be helpful in this effort.

## **I. Exterior Lighting, Lamp Post and Yard Lighting**

Exterior mounted lighting should be positioned so as not to impede passage by, or inflict harm to pedestrians nor create a visual barrier along the street. Wall mounted porch lanterns and other ceiling surface mounted fixtures are generally acceptable.

Finishes on exterior lighting fixtures should complement the architectural color schemes selected and reflect accurate period color choices. Jaded copper, antique metal finishes and black are generally preferred color choices. Polished brass is a poor choice in that ocean salt air promotes pitting and discoloration of such finishes.

Individual lamp posts are permitted but must be reviewed by HPC prior to installation.

Use of low voltage path lighting is discouraged but will be reviewed by HPC.

In brief, the exterior lighting of a any residential building or structure either undergoing repair, restoration, renovation, alteration, addition or proposed as new, should be:

1. Refurbished or replicated original lighting fixture types to the extent feasible.
2. Positioned so as not to impede passage, or inflict harm to pedestrians nor create a significant visual barrier or distraction along the street.
3. Be representative of the style and period on which such lighting is applied and be consistent with fixtures typically found within the Ocean Grove environs.

## **J. Gutters**

Originally many 19th Century buildings did not have roof drainage gutters and leaders. Steep roof slopes and extended overhangs kept water away from exterior walls and foundations.

In some instances, box gutters were integrated into the design in a manner so as to conceal the gutter into the structure's eaves. Where box gutters still exist today, it is preferable to retain them instead of installing hanging gutters.

It should be noted that hanging gutters may interfere with decorative brackets, fascias and eaves trim in some instances. Such visual conflicts should be avoided.

However, it is common practice to install or retrofit gutter and leader systems onto existing buildings and hanging gutters and leaders are almost always specified on small to medium sized new construction.

In brief, the gutter and leader types to be installed on any residential building or structure undergoing repair, restoration, renovation, alteration, or addition or proposed as new, should

1. Be fabricated in a half-round gutter design with round pipe leaders where buildings were originally constructed before 1941.
2. Be fabricated of copper, aluminum or galvanized metal and may be painted or finished to match the dwellings trim.
3. Avoid use of modern K-type gutters and rectangular leaders on Key and Contributing Structures within the District.
4. Avoid PVC (poly vinyl chloride) pipe systems or solutions anywhere within the District.

## **K. Awnings**

Awnings add color and vitality to the streetscape and add interest to a building in addition to providing shade and weather protection.

In brief, awnings for any residential building or structure should:

1. Be of a fabric type and manufactured of canvas or linen. Vinyl and sheet plastic are not acceptable. Awnings may be designed so as to be placed over a single window or door, or may be designed so to span over the length of the distance between porch columns.
2. Complement the proposed building design or improvement and be consistent with colors complementing the structure without garish results. Striped awnings with up to three colors are permitted while solids are usually preferred.
3. Not incorporate logos or lettering on the proposed awning.
4. All awnings should be at least 7 feet - 6 inches clear from sidewalk grade at their lowest point and not extend beyond 3 feet from the building face.
5. Tattered and discolored awnings should be replaced or simply removed.
6. Avoid pre-formed frame awnings that are non-operational.
7. Avoid retractable mechanized awning types.

## **L. Skylights**

Skylights are generally inappropriate and not typical of architectural styles and methods of the Victorian Era of architecture.

Skylights will, however, be considered where the Applicant can successfully demonstrate that such skylights are not visible from the immediate sidewalk vicinity. Consideration should be given to visual impact of such intrusions when viewed from neighboring locations. Skylights should be limited and discretely positioned.

## **M. Satellite Dishes, Solar Panels, Antenna Towers**

Satellite dishes seriously detract from the characteristics of the District. Solar panels present a similar intrusion and usually constitute an even larger visual problem as do antenna towers.

Property Owners of all residential buildings, whether undergoing repair, restoration, renovation, alteration, new construction or addition, or not, should:

1. The placement of TV Satellite and all other visually offensive mechanical HVAC devices on roofs in a manner visible to public view is unacceptable.

#### **N. Roof Top Construction - Sun Decks, Pools and Hot Tubs**

Roof top construction featuring sun decks, swimming pools, and hot tubs are not in keeping with the designs of the Victorian Era nor other historic styles of architecture within the **Ocean Grove Historic District**. Therefore such features will be viewed contrary to the "Spirit" of the architectural setting. Introduction of any such feature must fully demonstrate that such a feature would be designed so as not to be visible to public view.

Exceptions to roof top construction are widow's walks.

Property Owners of all residential buildings, whether undergoing repair, restoration, renovation, alteration, new construction or addition, or not, should:

1. Avoid placement of roof top pools, hot tubs, recreational facilities, sports courts and all other non-period design features on roofs. Any such introduction must be designed in a manner to not be visible to public view.

#### **O. Air Conditioning and Condenser Units**

Window mounted AC units are not permitted in new construction. Existing structures utilizing window AC units should position units away from street and public view to the extent feasible.

Placement of mechanical HVAC devices such as Air Conditioning condensers on roofs or side and front yards in a manner visible to public view must be avoided to the extent feasible. Where such placement is necessary, units shall be adequately screened from public view. Screening shall be compatible with architectural materials of either the existing structure or proposed treatments which are acceptable within the standards as set forth in **The Design Guidelines**.

## P. Flags, Banners and Signage

Celebratory or seasonal flags and banners proposed for display at any residential building are generally not permanent to the structure and may be displayed without specific approval. However, any permanent flag, banner or flag pole installation or application of signage other than the street address number, name of residence, or historic structure plaque must be reviewed by HPC and Zoning.

As to general specifications and guidelines, Owners desiring to display flags, banners and signage should:

1. Verify that such flags, banners and signage are permitted and comply with local zoning restrictions.
2. Verify that all such flags, banners and signage are securely attached to masonry or framed exterior surfaces but mechanical fastening should not irreversibly damage or destroy key historic materials or facings.

Flags should generally not extend beyond 60 inches from the building face. Banner heights and sizes may vary, but must comply with local zoning restrictions in all cases.

## Q. Fencing and Gates

In Ocean Grove, use of solid or stockade type fencing is not permitted. Historically, fencing of open wood pickets and slats and occasionally cast iron were used to define space. Fencing was most commonly used in residential applications in front, rear and sometimes side yard lot line situations as a method of yard delineation.

Use of any historically appropriate fencing with a *demonstrated precedent* will be considered by HPC.

Low fencing not exceeding 2 1/2 feet is permitted in the front yard, 4 foot height from the front of the building facade to the rear lot line and 5 foot high fencing in rear yard when approved by HPC and in accordance with the Neptune Township Zoning Ordinance.

Acceptable heights and alignments are as indicated in the attached Neptune Township Zoning Ordinance - "Appendices A" for corner lots and "Appendix B" for typical fence applications within the Historic District which follow.

In brief, existing and proposed fencing should:

1. Utilize painted wood picket, Victorian ornamental cast iron or Victorian pipe rail fencing systems where appropriate to the architecture of the building or structure.

2. Avoid use of chain link, masonry walls, ranch style post and rail, vertical board or plank, any variety of stockade, modern wrought iron or vinyl clad fencing.
3. Side and rear fencing may incorporate staggered plank (Board on Board) configuration subject to HPC review and approval.

Fencing should be painted. Colors may be either dark green, black, gray, brown or white. Painting and maintenance of existing fencing is always encouraged. White picket wood fencing is generally preferred. Unpainted wood picket or other wood fencing as well as unfinished metal ironwork is discouraged.

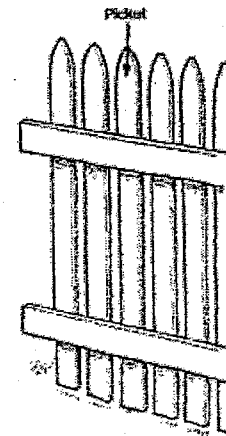
Multi-colored and patterned colors and the use of bright non-earth tone colors is not permitted. Fencing may be of uniform height or scalloped between sections or anchoring posts. Irregular, non patterned picket patterns or other picket fence designs not in keeping with Victoria Era architectural traditions will not be considered.

Picket fences, most common to the Ocean Grove Victorian Seaside Vernacular nominally varied in design. Specifically, the top of each vertical picket was either squared, rounded, arched or pointed. Occasionally, the point was articulated with added cutaways or narrowing of the point so as to create an arrowhead type point. Other factors for variation included spacing of the pickets, selection of fence post type and post cap and distance from grade. Each picket should be secured to a horizontal top and bottom slat or rail, and should be spaced so as not to exceed a gap between vertical pickets equal to the width of the picket itself, typically one to three inches. Widely spaced pickets are not acceptable. Picket bottoms may be set on grade but may be positioned so as to be slightly above grade. Distance from the bottom of each picket to grade may be approximately two but not more than five inches.

Iron work, although common in the Victorian Era was less common in Ocean Grove. Metal pipe type railing was utilized in Ocean Grove but to a lesser extent on single family dwellings.

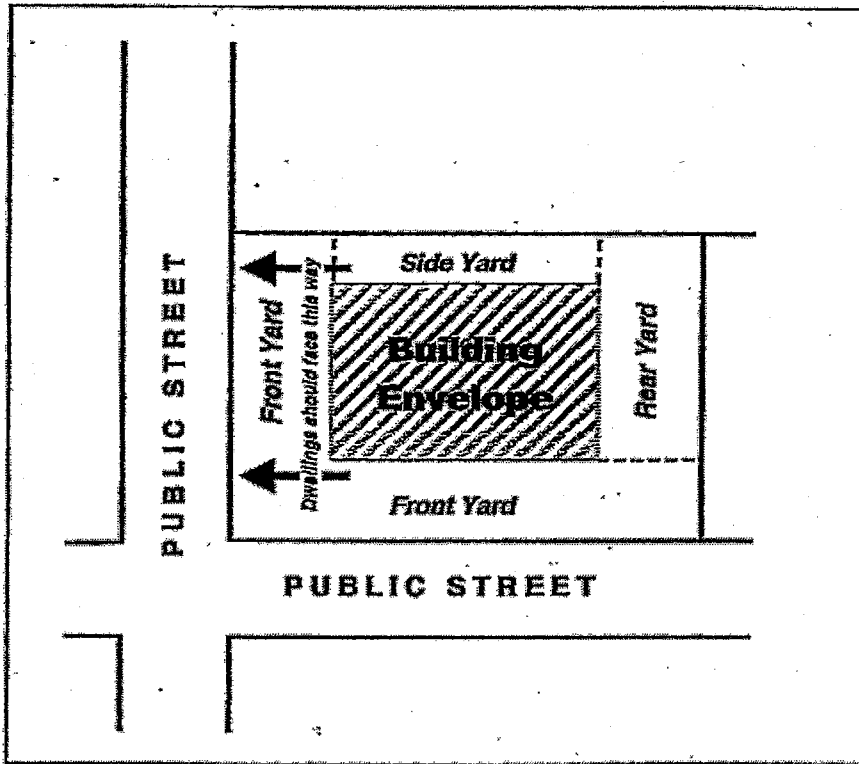
All proposed fencing should comply with the stipulated criteria cited herein and reflect the spirit of architecture within the immediate neighborhood and adjacent structures. All proposed fencing should be historically correct and appropriate.

A typical picket fence detail is shown here.



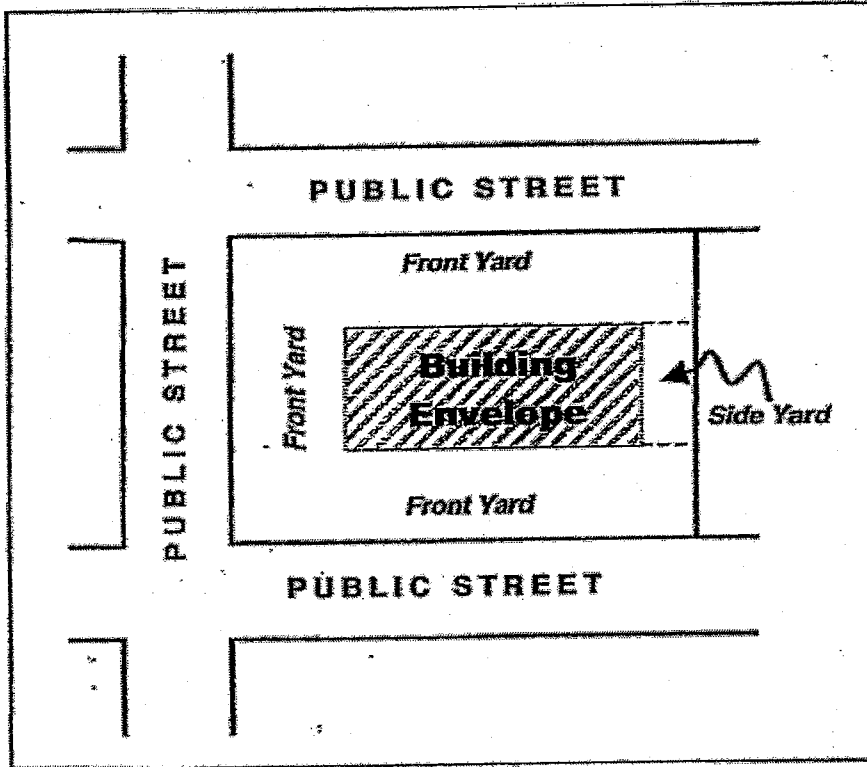


**Appendix A: Fences at Corner Lots with Two (2) Front Yards**



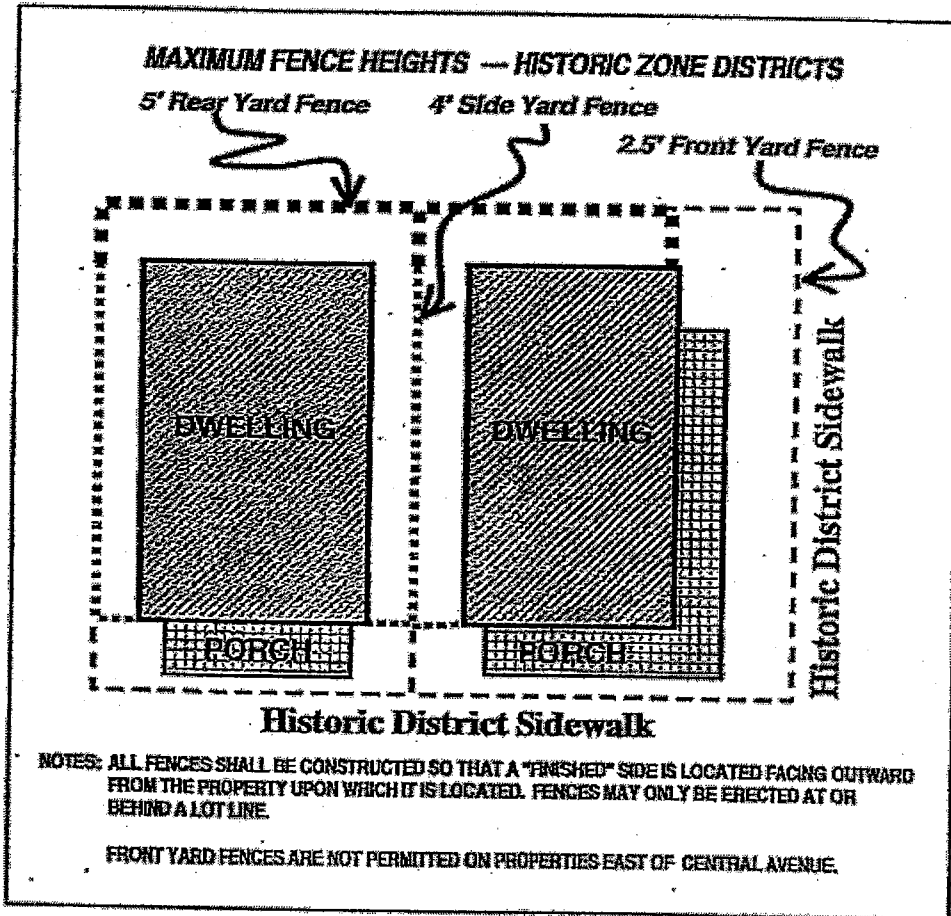
***Two Front Yards***

**Appendix A: Fences at Corner Lots with Three (3) Front Yards**



**Three Front Yards**

## Appendix B: Fences in Historic Zone Districts



## **R. Architectural Landscape Treatments**

Grass strips between the curb and sidewalk area is required by Ordinance, as well as grass lawns in front yards. The introduction of concrete or masonry unit paved front yard patios is not acceptable, nor is the application of loose decorative mulch, stone or gravel. The introduction of grass and trees are encouraged. The increase in impervious surface is discouraged and should be avoided. The introduction of items other than grass and trees are not permitted in the grass strip.

The size of the grass strip should be a minimum of between 12 inches to 18 inches, however all grass strips should at least match the grass strip to either side of the new sidewalk and existing grass strip.

All proposed landscape treatments should be appropriate to the architecture, the historic period of the district and be indigenous to the site. For example, the planting of palm trees or cactus species is inappropriate.

Pathways and existing driveways may be surfaced with natural slate (bluestone) slabs, brick, concrete or cut stone unit pavers, or be concrete paved. Painting of natural stone elements is discouraged.

Retaining walls, where required should be either brick masonry, rough chiseled face or split face type block. It is encouraged to locate and utilize used shadow block which will replicate the style found on such walls throughout Ocean Grove.

The block wall must be in alignment with and perpendicular (on a 90 degree angle) from the sidewalk edge. Masonry walls may be capped with brick masonry or limestone, sandstone or bluestone slabs. Use of railroad ties and modern ribbed face concrete blocks is not acceptable.

All architectural landscape elements including retaining walls, earth berms, planters, structures, ornamental castings, statues, light posts, fountains, water ponds, bollards, urns, benches, historic artifacts, flag poles, 3-dimensional art forms or any other element over *18 inches* in height from the average property grade, will be subject to HPC review and jurisdiction.

## **S. Driveways and Curb Cuts**

The creation of a new driveway or curb cut is no longer allowed by zoning law in Ocean Grove. Creation of new curb cuts in reality reduces the number of available parking spaces to the general residential community in Ocean Grove. Original intent and design of the streetscape did not include provisions for driveways or garages. The modern inclusion of those amenities does not conform to the ideals set fourth by the primary planners of our community.

Existing driveways and curb cuts are considered legal non-conforming uses in the zoning code. If a driveway or curb cut is abandoned, destroyed and removed it can not be replaced without a variance.

Additionally, when new driveway paving causes the removal of the original or existing paved wheel strips, any such proposal is not acceptable to HPC and will be discouraged.

## **T. Auxiliary Structures**

Auxiliary structures include but are not limited to the following:

1. Hot Tubs
2. Swimming Pools
3. Statuary
4. Permanently Installed Barbeque Grill
5. Koi Ponds and other water features

Any construction features such as sun decks, swimming pools and hot tubs are not in keeping with the designs of the Victorian Era or other historic styles of architecture within the Ocean Grove Historic District. Therefore such features will be viewed contrary to the "Spirit" of the architectural setting. Introduction of any such feature must fully demonstrate that such a feature would be designed so as not to be visible to public view or adjacent to a public right of way.

Property Owners of all residential buildings, whether undergoing repair, restoration, renovation, alteration, new construction or addition, or not, should:

1. Avoid placement of pools, hot tubs, recreational facilities, sports courts and all other non-period design features on roofs. Any such introduction must be designed in a manner to not be visible to public view.
2. The placement of pools, hot tubs or other permanent auxiliary structure in the "front yard" or "street facing side" of a property located in Ocean Grove is unacceptable.

## **U. Color**

The choice of color is one of the most important decisions generated by a property owner. For purposes of this section, the selection of color applies to exterior finishes, awnings, doors, trim, architectural ornament, window and door frames.

Ocean Grove's Historic District is a unique and valued architectural asset and national treasure. The ornamentation of Victorian Era architecture, often as "Painted Ladies" is a

post 1960's and early 1970's application of bright colors and added ornamentation. This may be inspirational; however, the applications were historically incorrect without historic merit. The use of Painted Ladies styles of color schemes is inappropriate in **Ocean Grove**.

Definitive color schemes are not a set as an absolute rule, however, paint manufacturer's, such as Benjamin Moore and Sherwin Williams, offer catalogs and reference sheets indicating appropriate historic color combinations. As a general guide, and whenever possible, building color should accurately reflect its original era.

*Buildings of the late 1870's and 1880's* usually featured soft or pale earth tone colors. For the most part, primary color choices included buff creams, light greens and gray. Window, door and trim were nearly always painted in darker shades of the main color choice.

*Late in the 19th Century*, colors were deeper and featured more browns, darker olive greens and reds and yellow ochre. Trim colors were more dramatic and utilized added tertiary trim colors to enhance detail.

*Early 20th Century* continued with past color schemes, but with the advent of Colonial Revival designs, white became increasingly popular.

*Exterior siding, fascia, roofing and window and trim colors* which are specifically discouraged include, what is often referred to as "*boutique colors*" including bright pink, turquoise, magenta, orange, lime, lavender and purple. Paint schemes featuring bright lemon yellow, electric blue, fire engine red, any combination of random colors, or the use of camouflage or striped patterns, and any color in the day-glow or glitter or reflective paint range or group are not acceptable.

*Natural materials*, such as brick or stone, should appear natural. Stone or brick face, if painted, may be painted gray, brick red or white in color. Wood siding, shingles and trim should be painted to historically correct color schemes or be allowed to weather gray.

*Narrow tongue and groove hardwood boards on outdoor porch floors and balcony decks* may be painted gray, be stained or be varnished.

*Narrow tongue and groove hardwood boards in ceilings of outdoor porches and balconies* may be painted sky blue, gray or white, be oiled or stained, or be varnished.

*Upper floor balcony floors* may be fiberglass surfaced and painted gray but must receive an edge trim board to match color of porch framing.

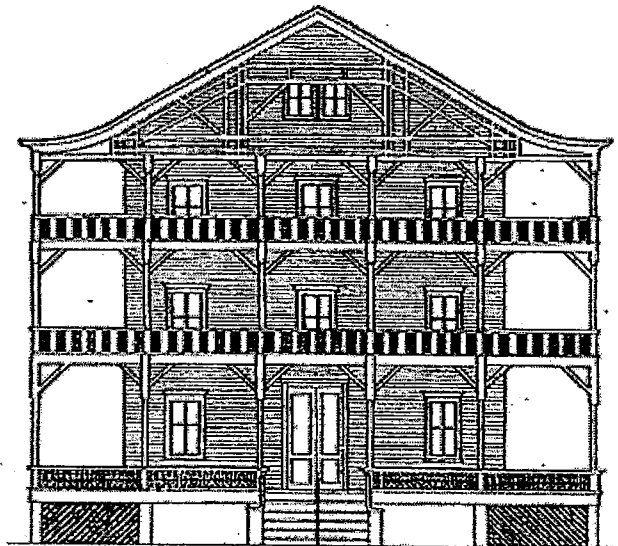
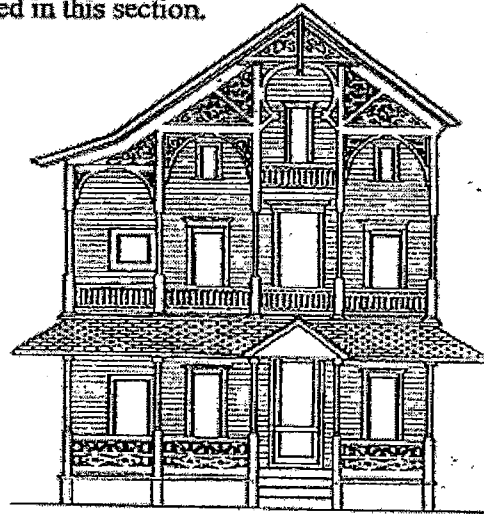
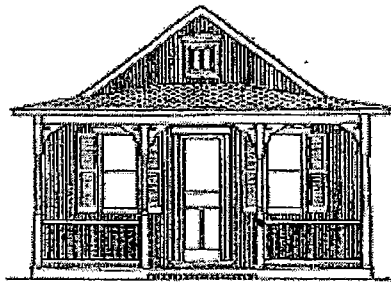
*Replacement of any single window or door frame* must match the color of all existing windows and doors or require that all others are made to match the replacement unit.

*Awnings* should complement the proposed building color(s). Striped awnings with up to three colors are permitted while solids are usually preferred.

## Ocean Grove Residential Structures - Facade Design Guidelines

### V. Illustrations of Appropriate Architectural Treatments and Styles

The purpose of this section is to provide a quick visual guide and reference which highlights various historic details common to the architecture of the Victorian Era and acceptable within the established parameters of **The Design Guidelines** in the repair, maintenance, restoration, renovation, reconstruction, alteration, addition and construction of residential structures within the Ocean Grove Historic District. The examples include but are not limited to the items shown or discussed in this section.



## **Ocean Grove Residential Structures -Facade Design Guidelines**

### **A. Period Architectural Home Styles of Ocean Grove**

The mandate of the HPC is the preservation, restoration, renovation and replication of the Ocean Grove Vernacular architecture found in the Historic District. The following prototypes are provided, illustrations of the characteristic elements of each particular style to guide those Applicants appearing before the HPC.

The illustrations are offered as a guide and reference to all prospective Applicants and their design and construction professionals prior to the preparation of construction plans, specifications and detailed architectural drawings and appearance before the HPC in public forum.

Applicants should make every effort to avoid unacceptability of proposed improvements and designs by becoming familiar with **The Design Guidelines** and the sample prototypes and various details and standards presented in this document. This will assist Applicants in avoiding a rendered HPC opinion that the proposed work is either inappropriate or incompatible or inconsistent with the character of the Historic District of Ocean Grove.

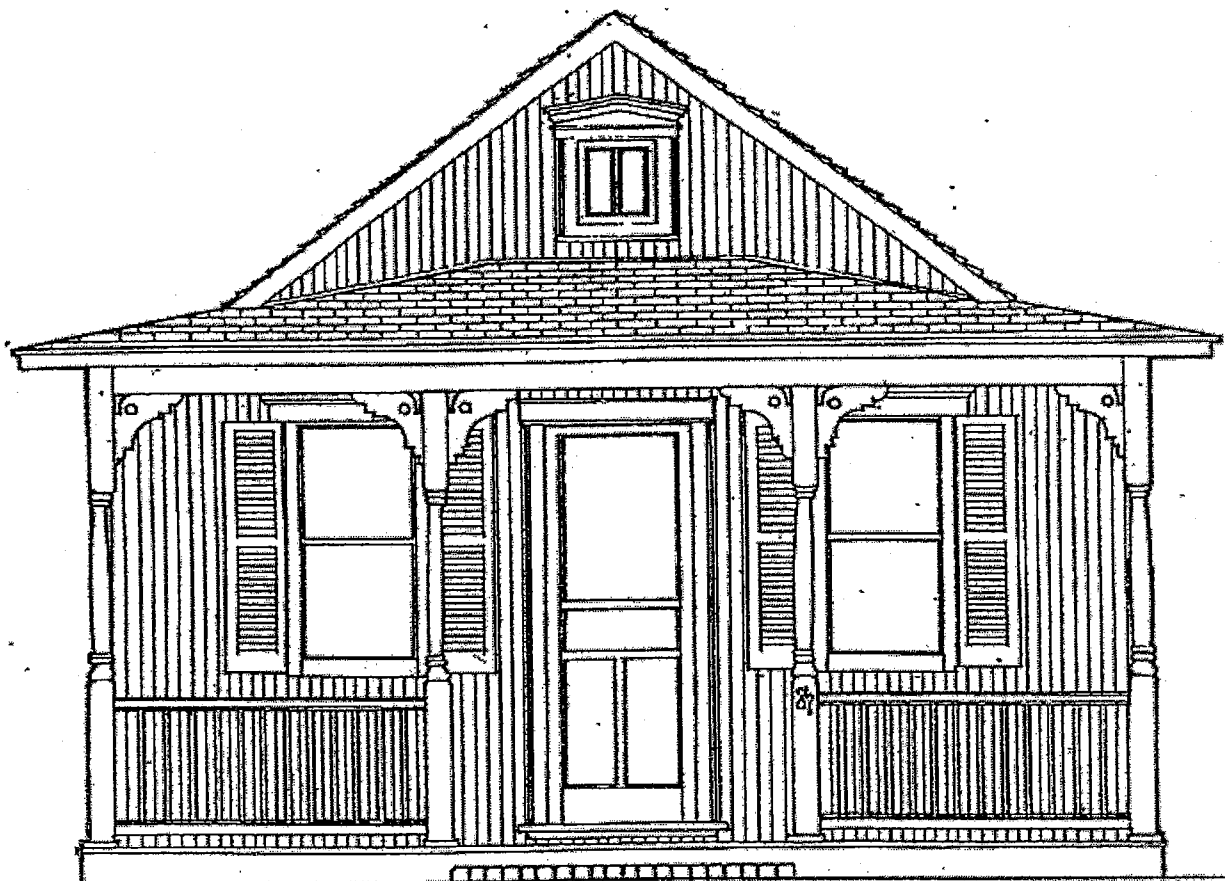
In Ocean Grove, particularly, many structures contain elements of more than one of the below listed styles and the styles referenced elsewhere in this document. Pure and comprehensive examples are not the norm. However, in many cases, good taste and an understanding of Ocean Grove Victorian era and Seaside Victorian Vernacular design have been used by original designers, original builders and successive homeowners who have changed their homes' exteriors. Their efforts have resulted in unique treatments and charming hybrids. These hybrids fall into the larger general category of single and multi-family dwellings which are so strongly linked to the past architectural period and place in American history that they serve as an exhibition of architectural wealth.

### **Sample prototypes which follow include:**

1. *Cottage/Bungalow*
2. *Gothic*
3. *Italianate*
4. *Stick*
5. *Eastlake*
6. *Queen Anne*
7. *Colonial Revival*
8. *American Four Square*
9. *Victorian Eclectic*
10. *Craftsman*

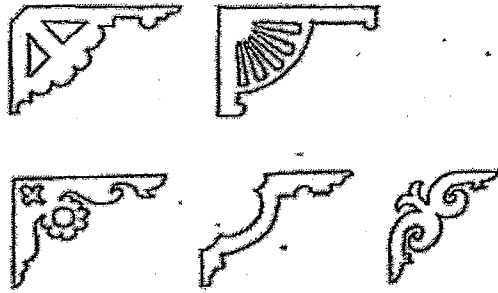


# Cottage/Bungalow Style

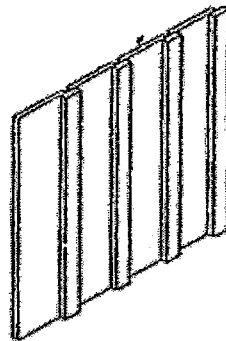
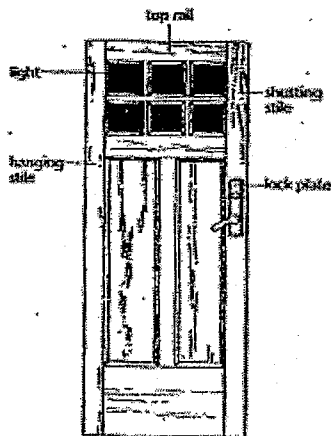
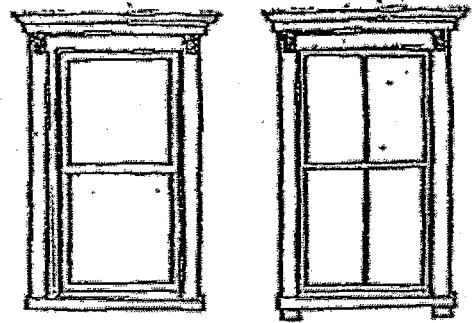
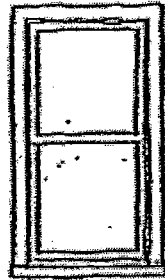
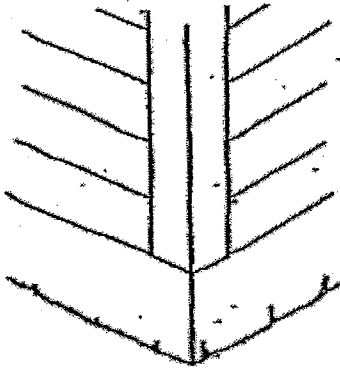
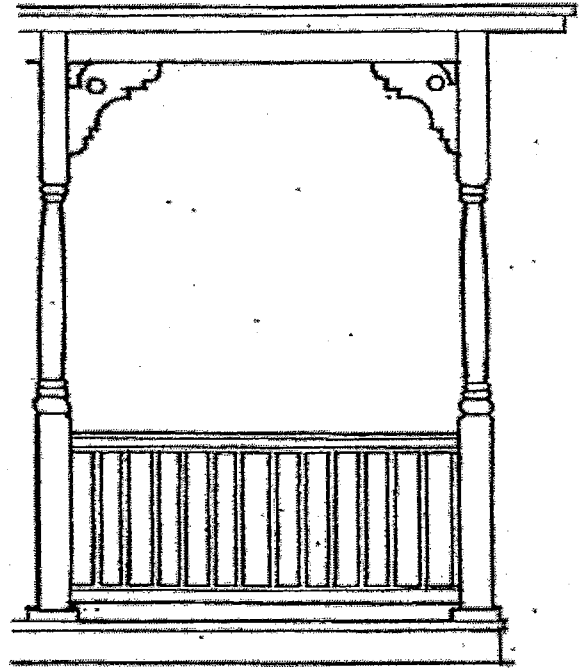
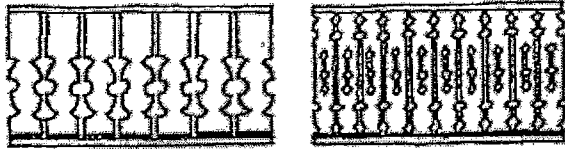


The summer cottage is a small and simple 1-story rectangular wood frame structure which was originated from simple designs seen at other camp meeting sites and evolved from the wooden floor configurations of the early tents used by the earliest members of the Ocean Grove Camp Meeting Association. More elaborate cottages spawned half-stories and second floors with balconies and sometimes featured scrollwork at eaves and railings. Most cottages were constructed of board and batten type exteriors, usually in vertical pattern and unadorned except for the corner brackets at porch posts. Often railing work was composed of equally spaced square wood spindles. Doors were centrally positioned, sometime double leafed, flanked by small narrow windows with operable shutters. Door and window openings were either arched or squared. Later cottages are better described as bungalows, or laborer cottages, influenced by craftsman style homes from 1900-1930's. Bungalows featured wood shingle and board siding in conjunction with hip roof details, larger and low overhangs at gables, more spacious open porches and exposed rafter ends.

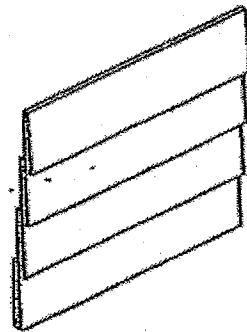
# Cottage/Bungalow Details



BRACKETS



board and batten siding

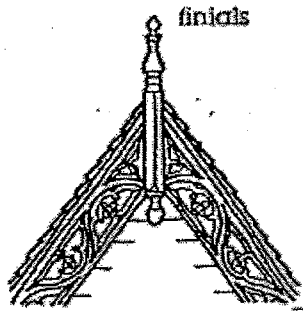


bevel siding

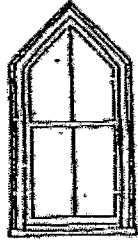
## Gothic Style



The Gothic style followed the simple Cottage Style in many respects but was larger in size, incorporated variations in floor plan utilizing 'L' and 'T' shaped forms. Windows and doors were often arched or pointed at the top and second floor windows usually extended into the gable areas. Wall areas extended upward into the gable areas. Siding was usually wood board and batten. Designs frequently created multiple or cross gables which then featured decorative gables on both front, rear and side elevations. Elaborately decorated gable boards and steeper pitched gable designs are also notable. Roof dormers from attic spaces and 1-story extensions were a product of spatial requirements and necessary expansions as family needs demanded.



finials

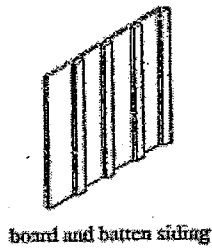
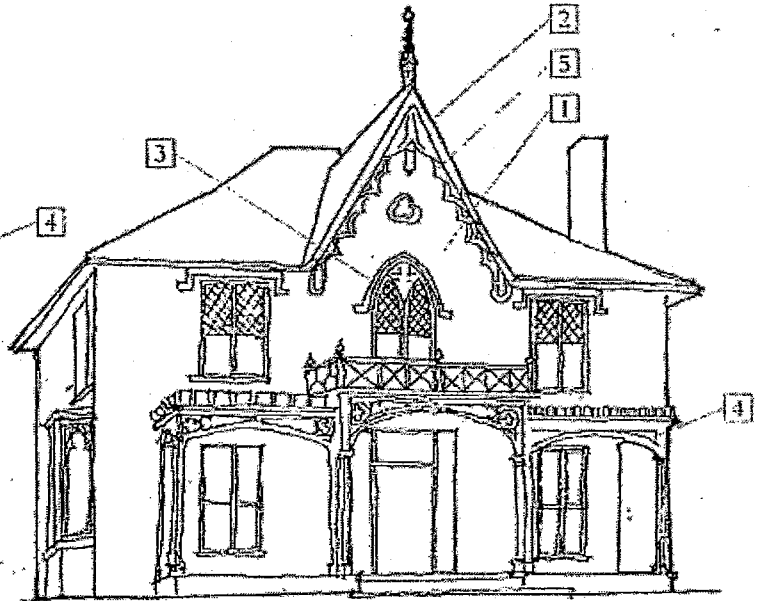
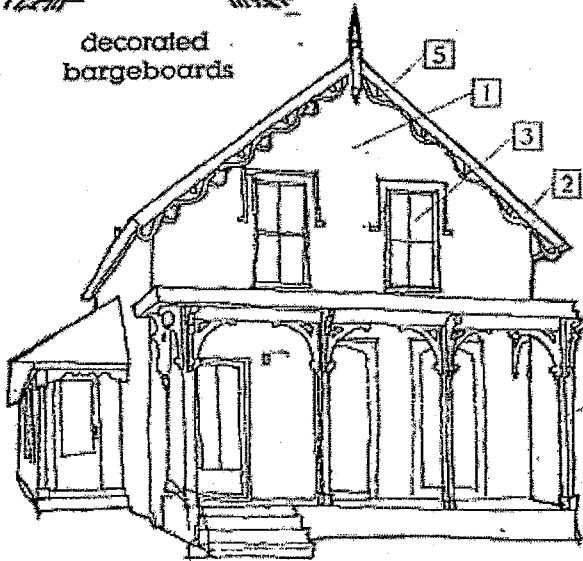


# Gothic Details

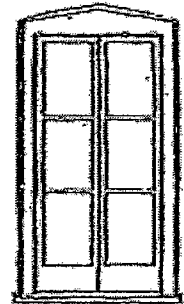
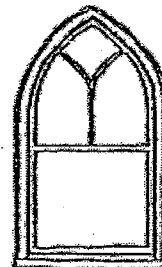
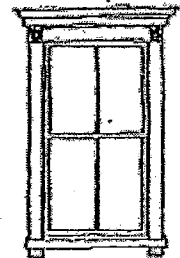
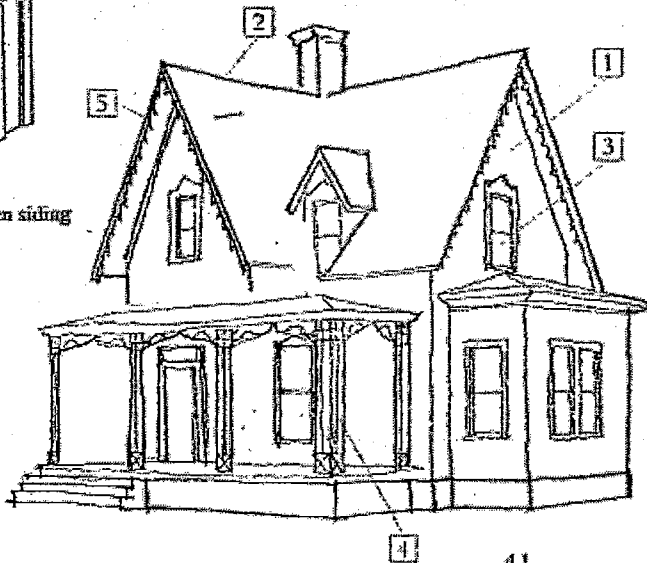
## IDENTIFYING FEATURES

- 1 WALL SURFACE EXTENDING INTO GABLE WITHOUT BREAK
- 2 STEEPLY PITCHED ROOF, USUALLY WITH STEEP CROSS CABLES
- 3 WINDOWS EXTENDING INTO GABLES, OFTEN WITH GOTHIC (POINTED-TOP) SHAPES
- 4 ONE-STORY ENTRY OR FULL-WIDTH PORCH, COMMONLY WITH FLATTENED GOTHIC ARCHES
- 5 GABLES WITH DECORATED VERGE BOARDS

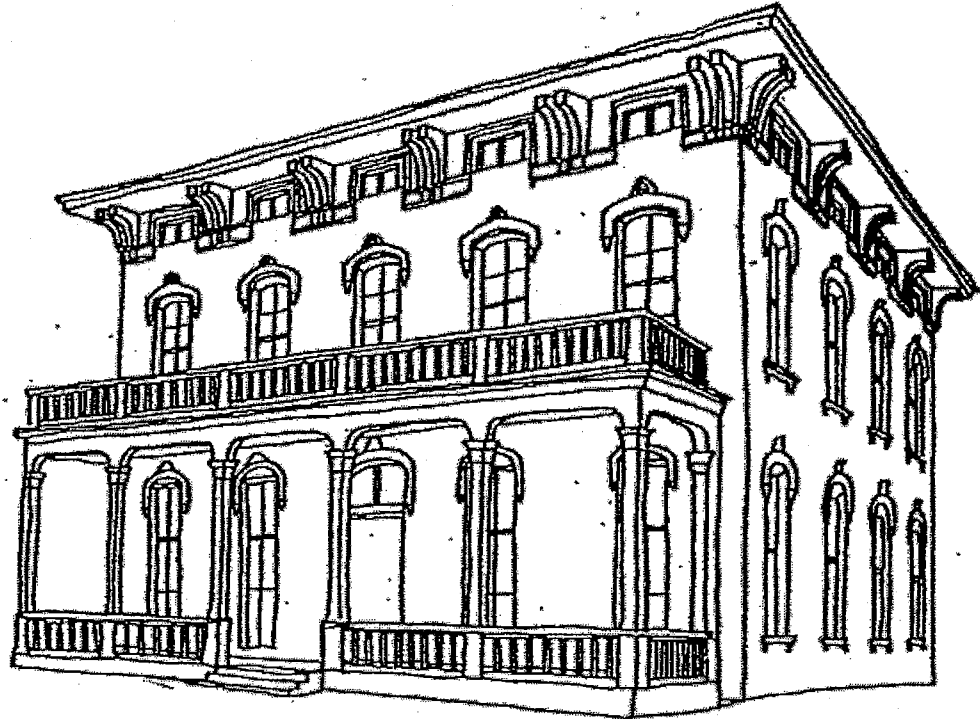
decorated bargeboards



board and batten siding



# Italianate Style

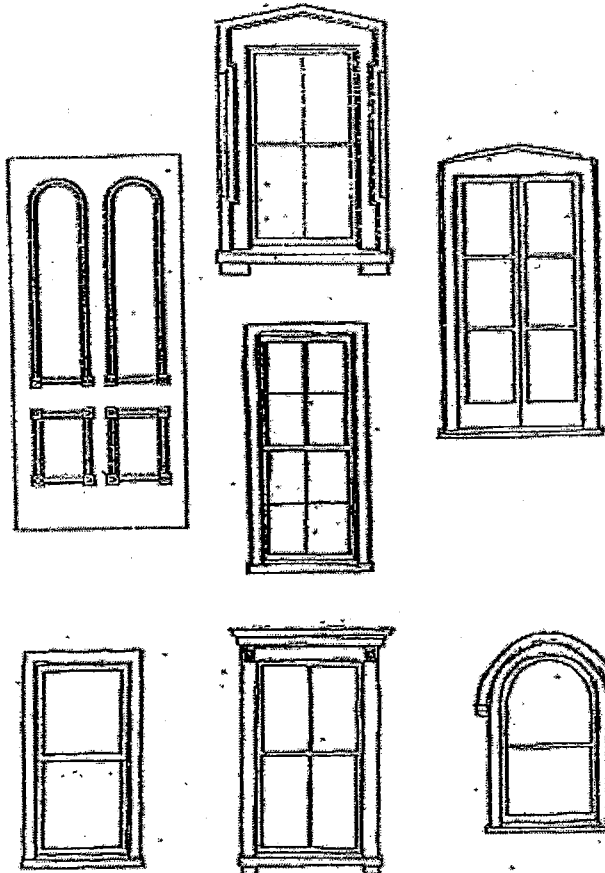
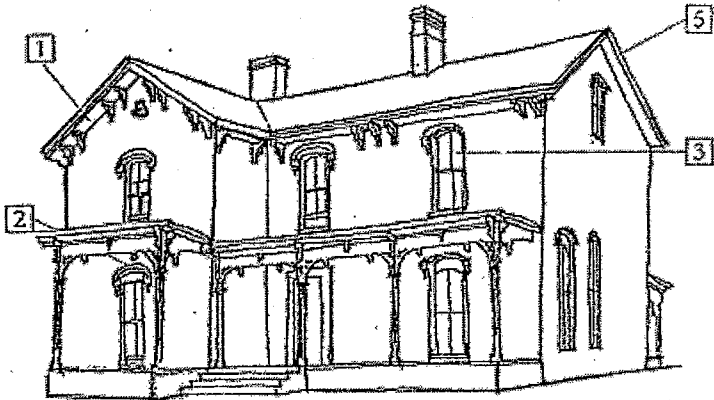
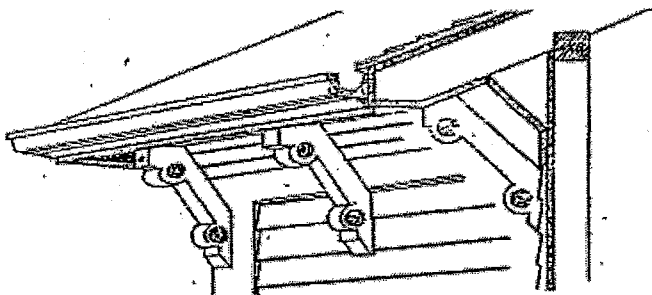
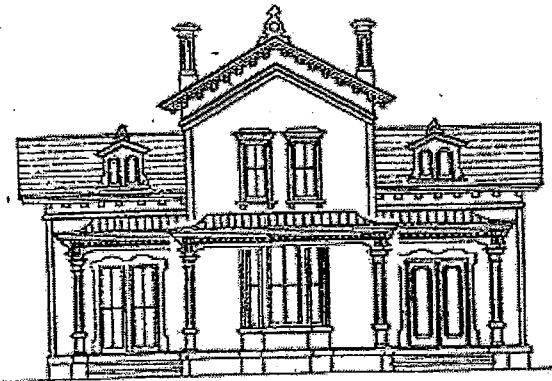


The Italianate Style is not a dominant form of architecture in Ocean Grove, but rather a design influence which can be frequently identified on various buildings. Most notable features include broad flat roofs or roof areas with square towers and generous verandas. Floor plans were usually asymmetrical and doors and windows were ornamented with articulated wood trim and sometimes designed with arched or rounded crossheads and header trim at the top of the door or window opening. Original siding was often wide wood board and batten. Entry doors usually double leaf hinged type with detailed raised and recessed panel work. Gables were minimally pitched thereby clearly distinguishing the style from that of Gothic. Towers were capped with low profile hip roofs and large perimeter overhangs elaborately detailed and ornamented with weighty brackets and cornice moldings.

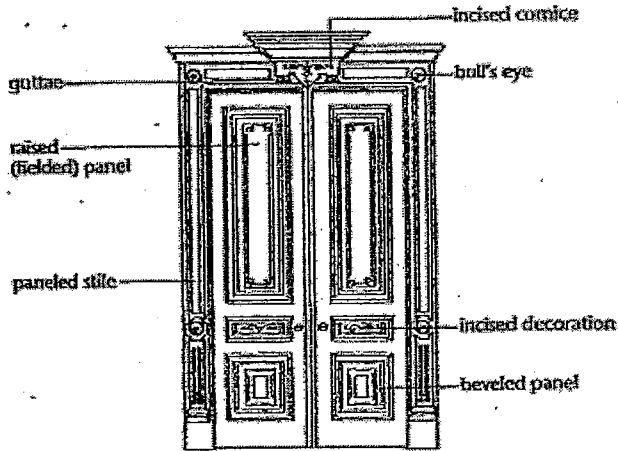
# Italianate Details

## IDENTIFYING FEATURES

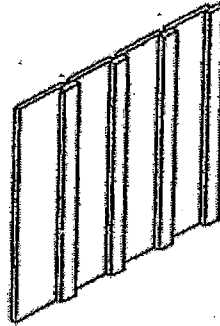
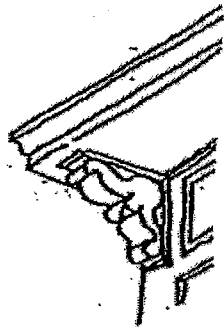
- 1 WIDELY OVERHANGING EAVES WITH DECORATIVE BRACKETS BELOW
- 2 ELABORATED WINDOW CROWNS
- 3 TALL, NARROW WINDOWS, SOMETIMES ARCHED ABOVE
- 4 SOMETIMES HAVE SQUARE CUPOLA OR TOWER
- 5 LOW-PITCHED ROOF



## DOUBLE DOORS



# Italianate Details

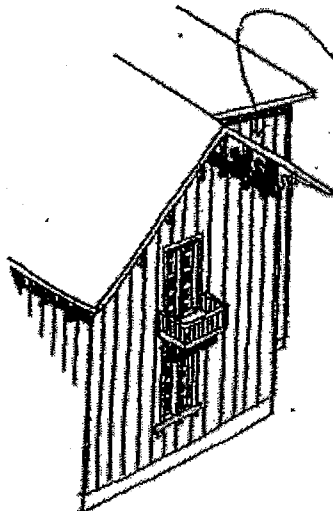
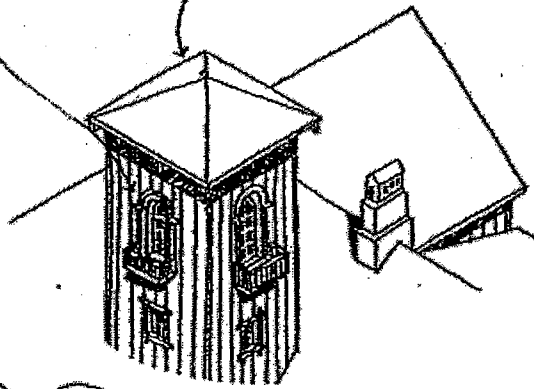


Board and Batten Wood Siding

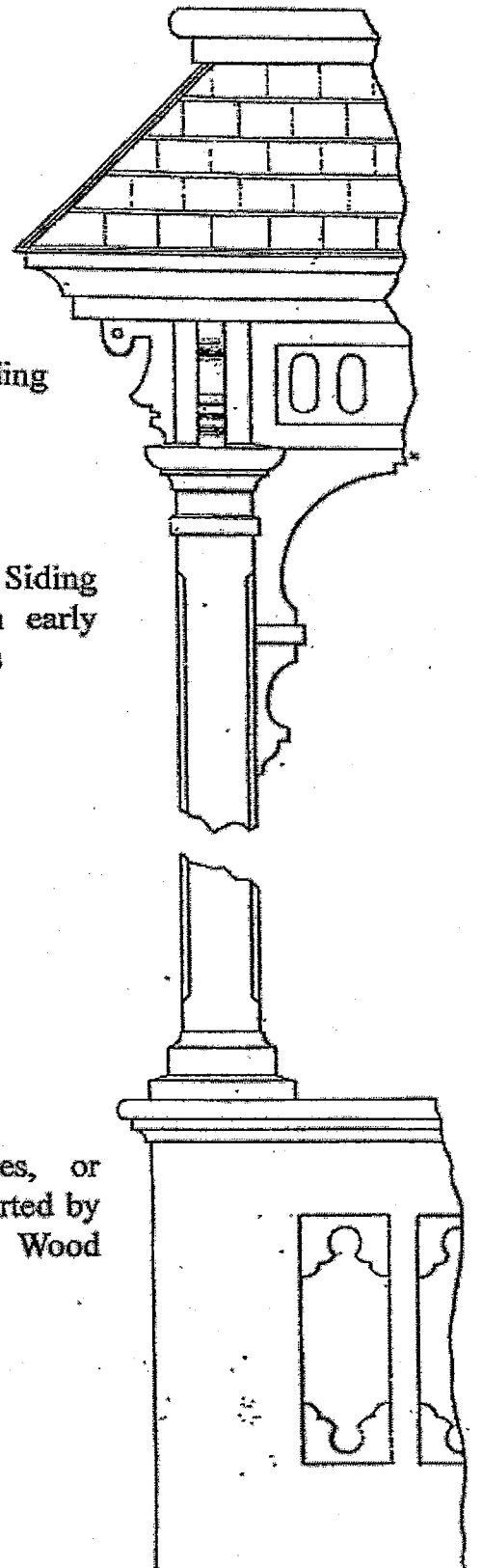
Common to the Italianate Style were Square Towers and Cupolas

Top of Windows were often rounded

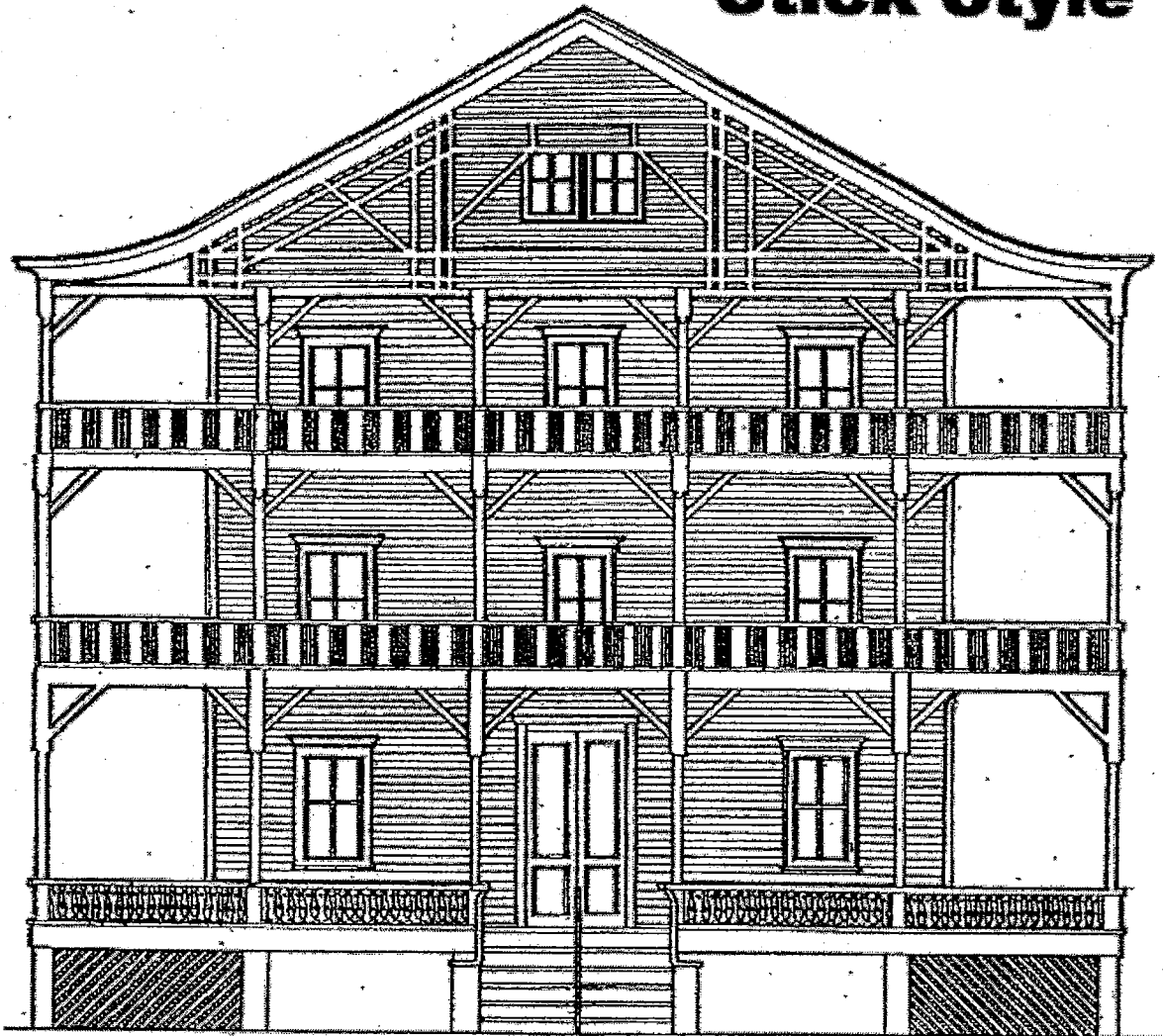
Board and Batten Wood Siding was usually found on early Italianate Style Cottages



Projecting Roof Eaves, or Overhangs, were supported by elaborately crafted Wood Brackets



# Stick Style



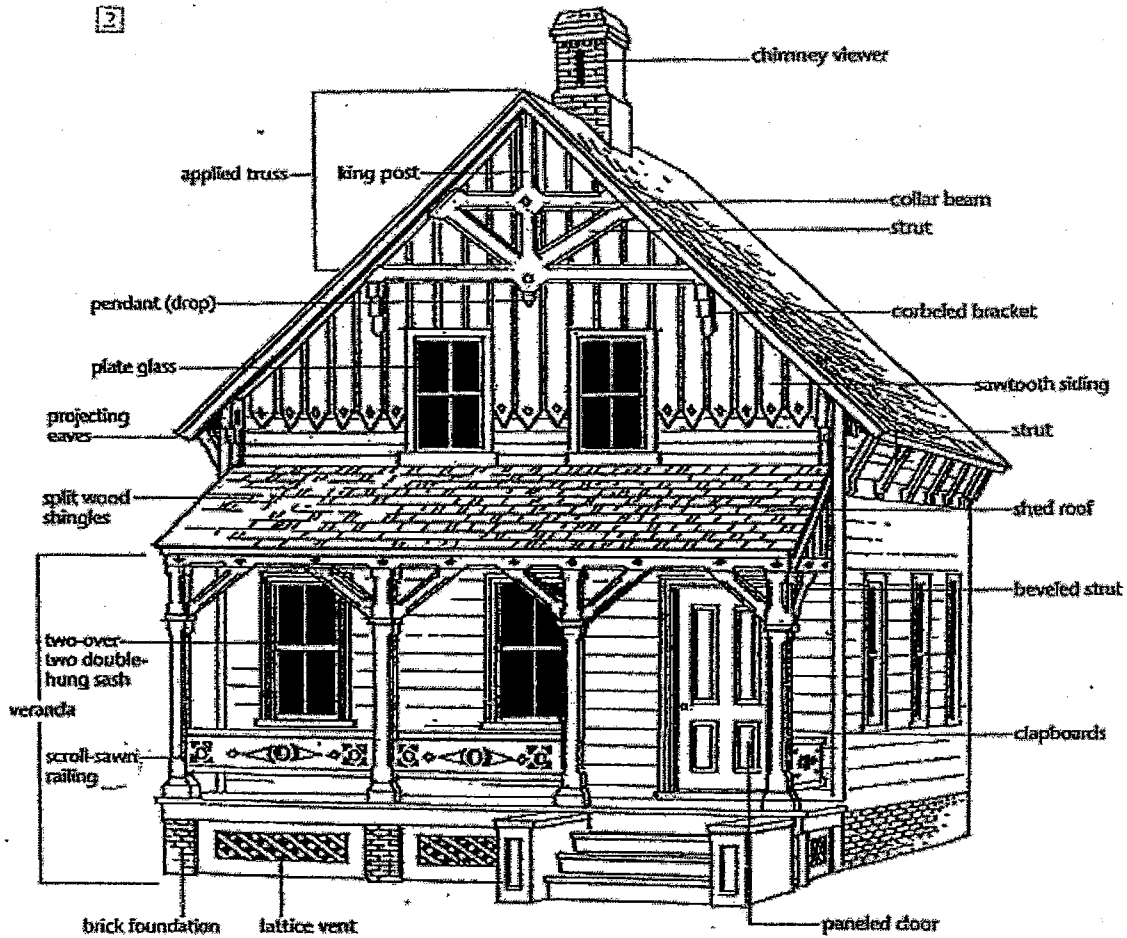
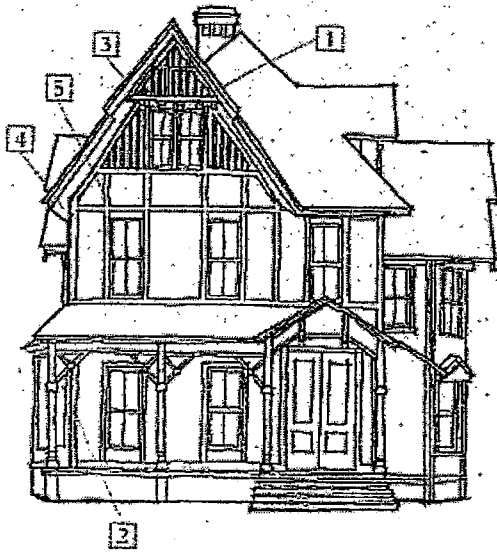
The Stick Style buildings date back to the 1870's in Ocean Grove, and are characterized by the decorative "stick-work" which is applied to the outside of the wood clapboard siding in a pattern of vertical, horizontal and diagonal boards. The aesthetic intent of Stick Style detailing was to express the wooden framing system. Most commonly, gable roofs exposed roof framing and trusses at gable ends. Other notable features included broad overhanging eaves and multiple-story encircling balconies and covered porches with simple unornamented but oversized diagonal brackets, braces, roof rafters, corner boards and porch posts. Railings were often composed of square spindles but sometimes featured more decorative scrollwork design solutions. In general, structural supports were simple, deliberately exposed and openly expressed for public view. Window sash were either 2/2, 2/1 or 1/1 double hung type.



# Stick Details

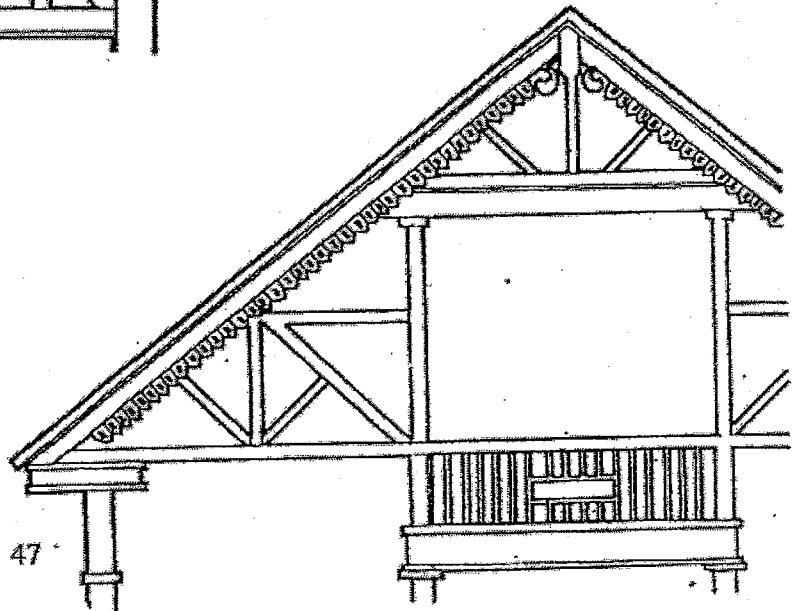
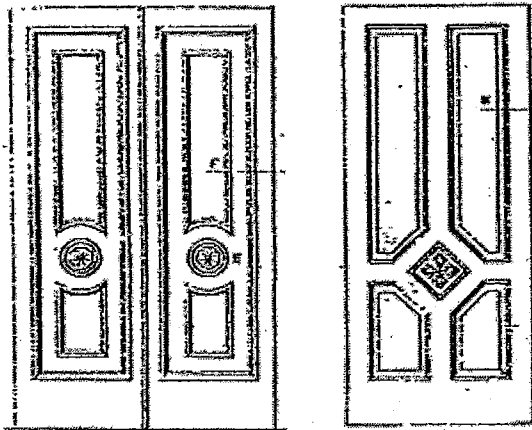
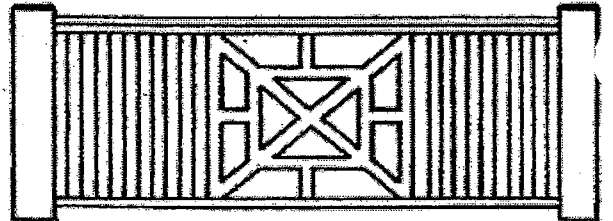
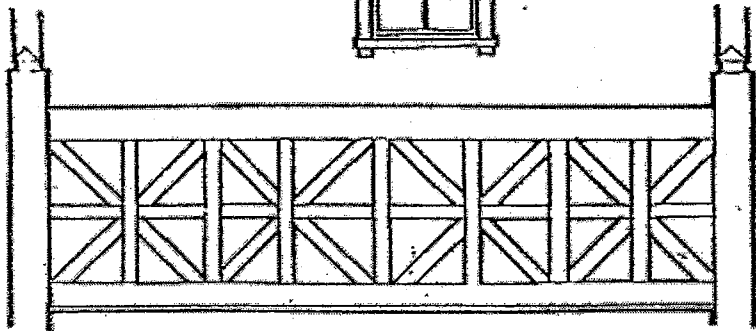
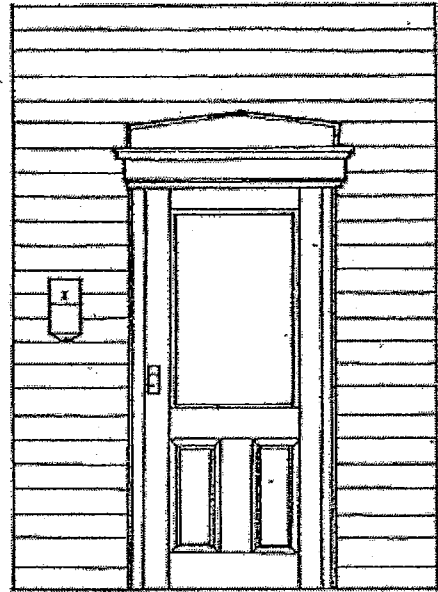
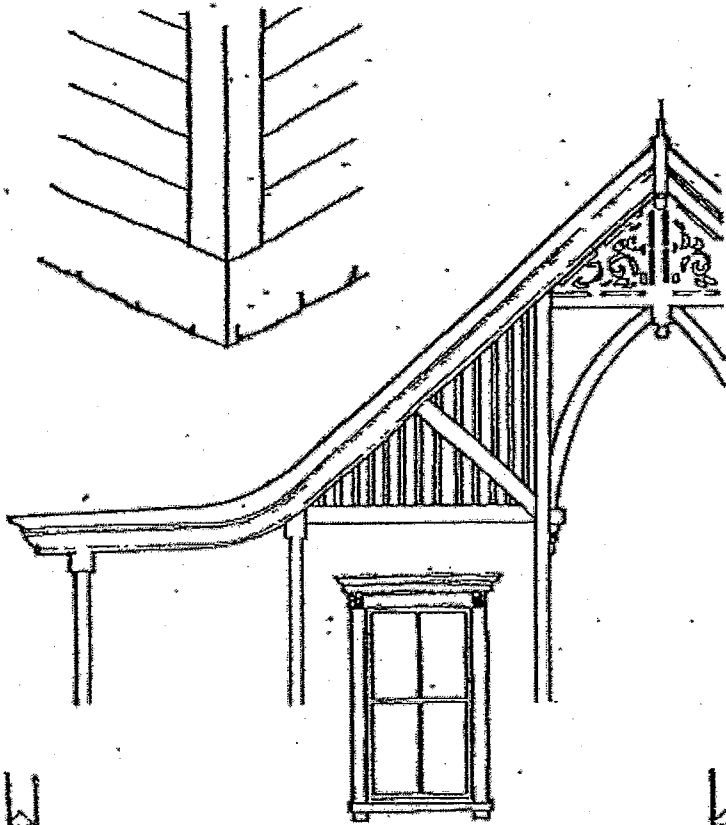
## IDENTIFYING FEATURES

- 1 DECORATIVE TRUSSES IN GABLES
- 2 DIAGONAL OR CURVING PORCH-SUPPORT BRACES
- 3 GABLED ROOF, USUALLY STEEPLY PITCHED WITH CROSS GABLES
- 4 OVERHANGING EAVES, USUALLY WITH EXPOSED RAFTER ENDS
- 5 HORIZONTAL AND VERTICAL BANDS (LESS COMMONLY DIAGONAL) RAISED FROM WALL SURFACES FOR EMPHASIS

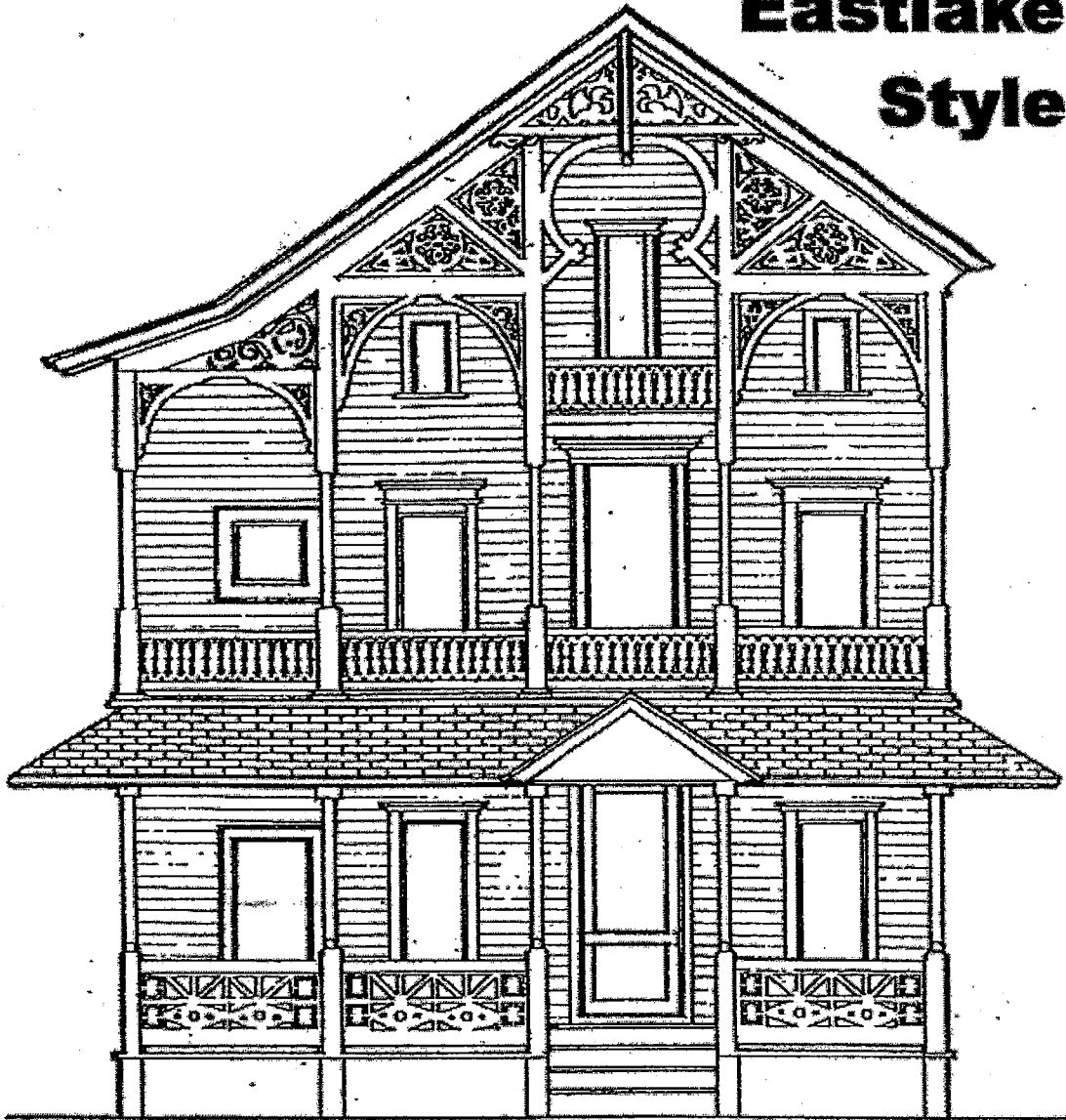


# Stick Style Cottage

# Stick Details

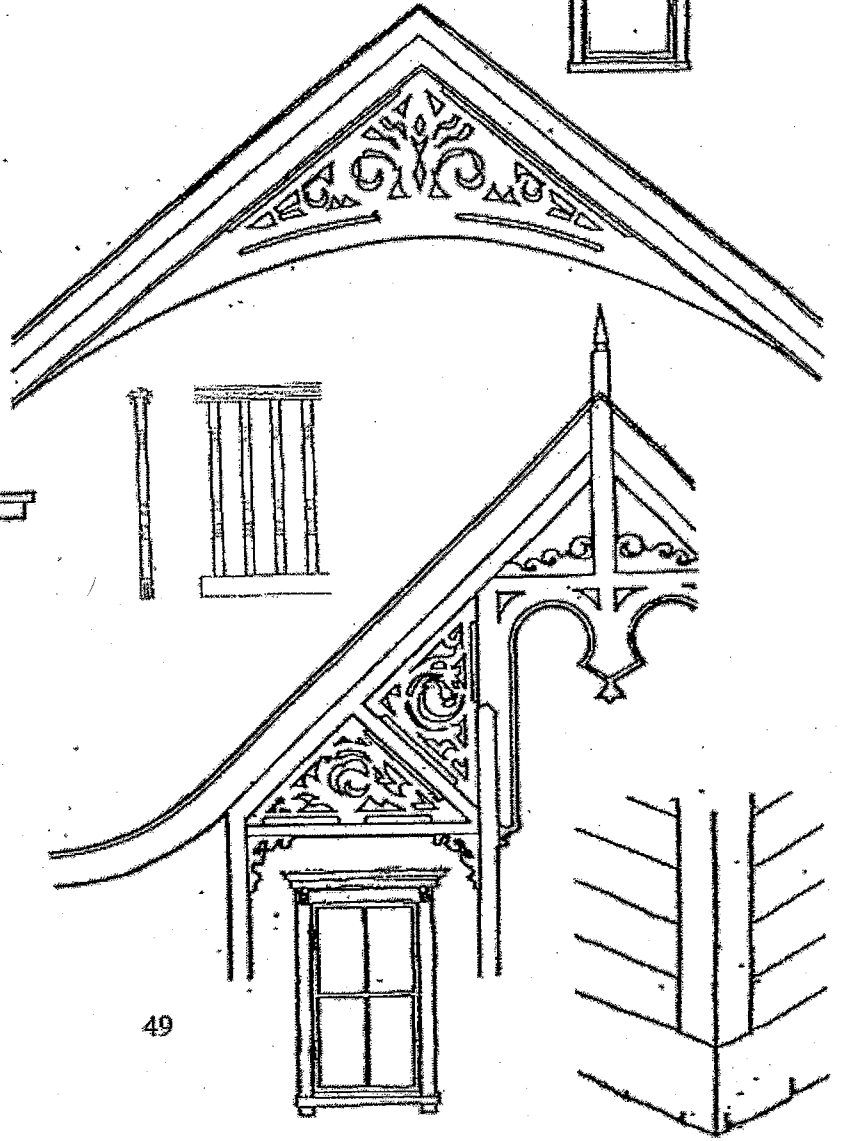
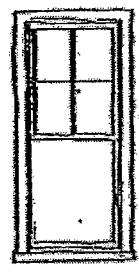
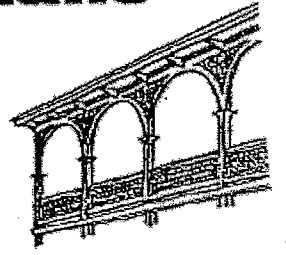
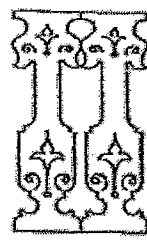
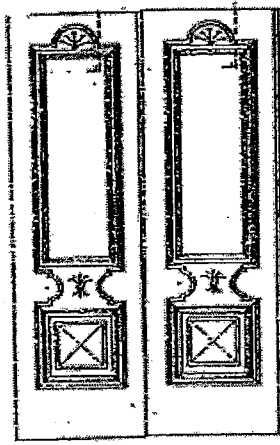
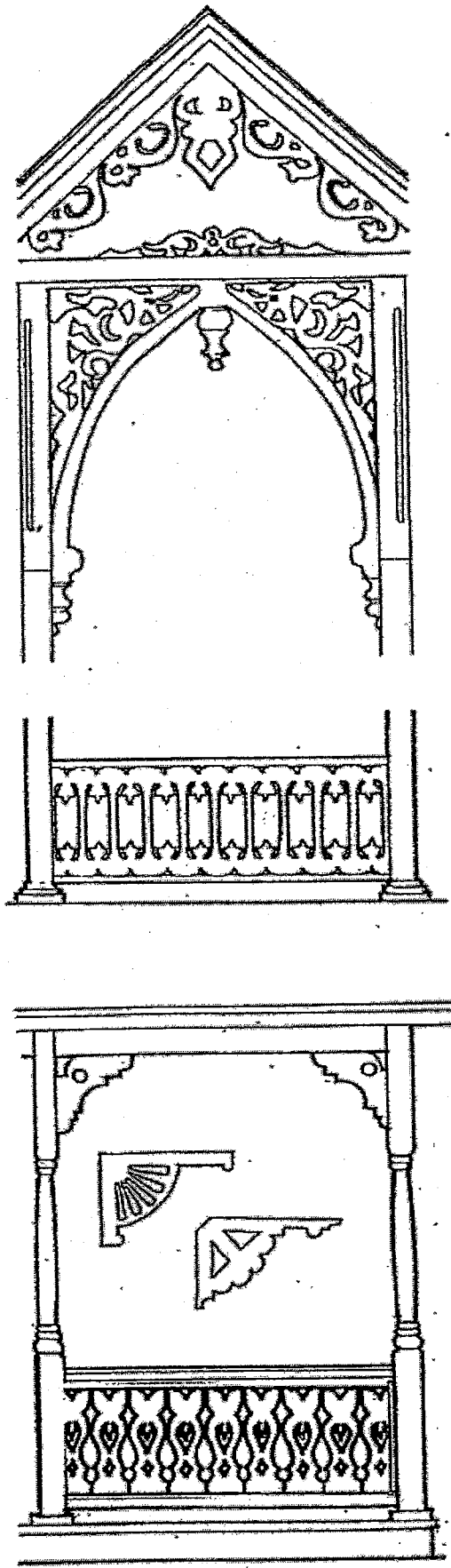


# Eastlake Style

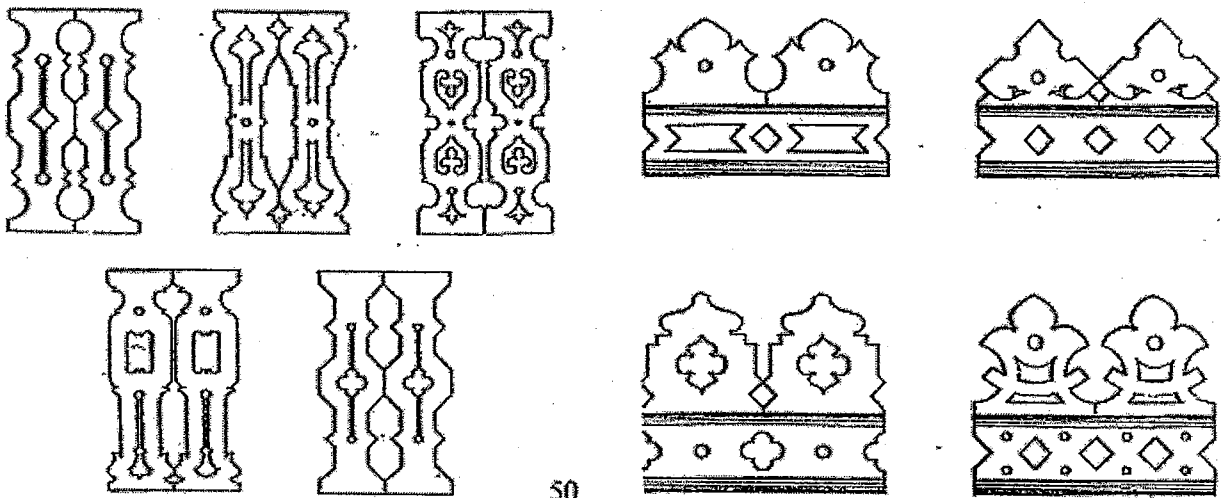
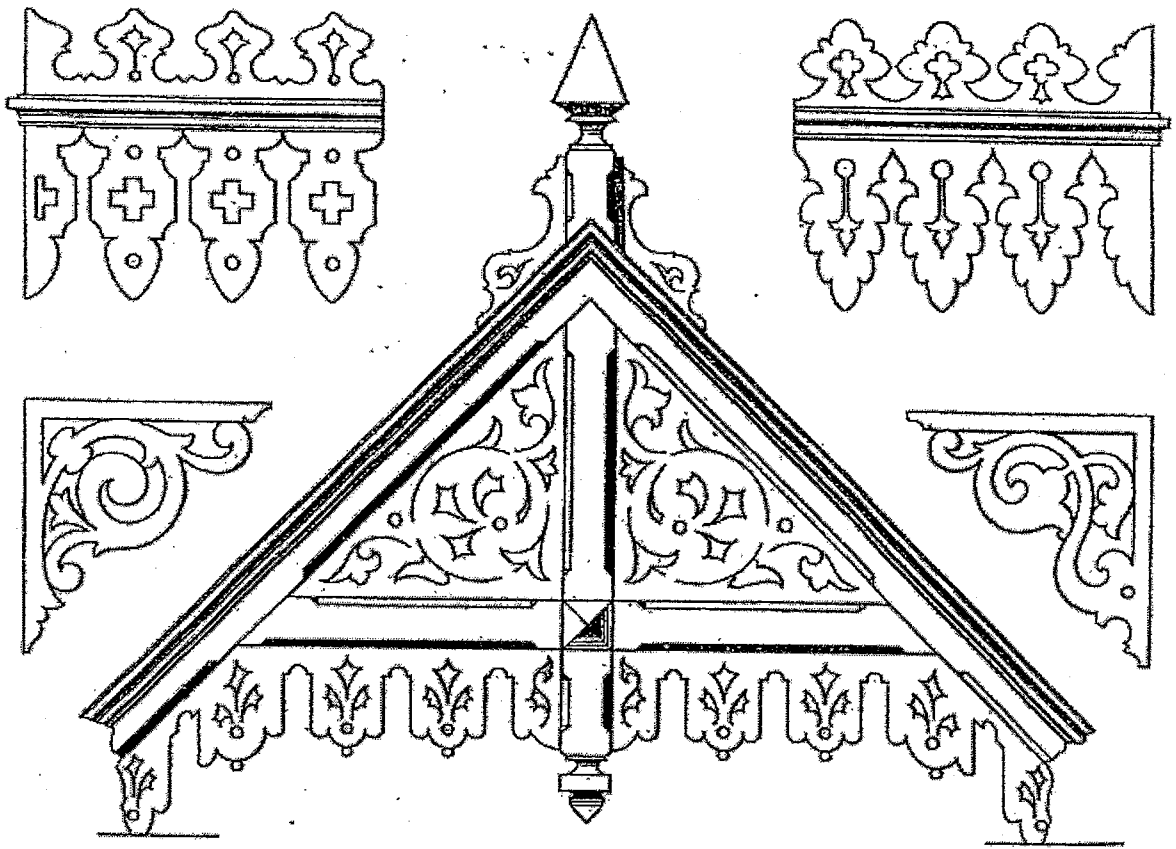


The Eastlake Style is less an architectural style than a decorative embellishment often found on Gothic, Stick and Queen Anne designs and named after English designer Charles Locke Eastlake. The style is characterized by tapered, tooled and rounded porch columns and posts, turned railing spindles with spool-like balusters and cut-out patterns. Spindles were also featured at top of porch areas friezes in combination with various carved wood panels, fan-like post brackets, moldings and scroll brackets. The Eastlake designs were a direct result of the mechanized wood lathe, gouge and chisel which allowed for robust knob-like forms, bulbous post features and 3-dimensional brackets rather than the 2-dimensional and relatively flat scrollwork frequently referred to as "gingerbread".

# Eastlake Details



# Eastlake Details





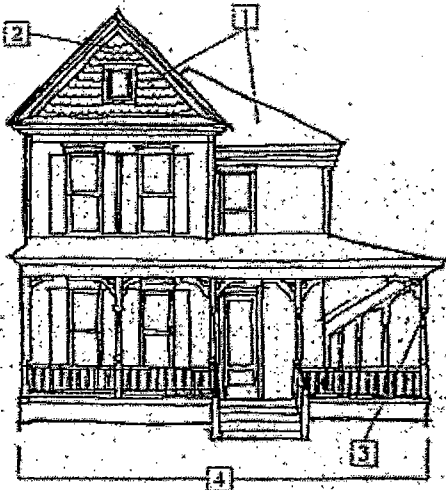
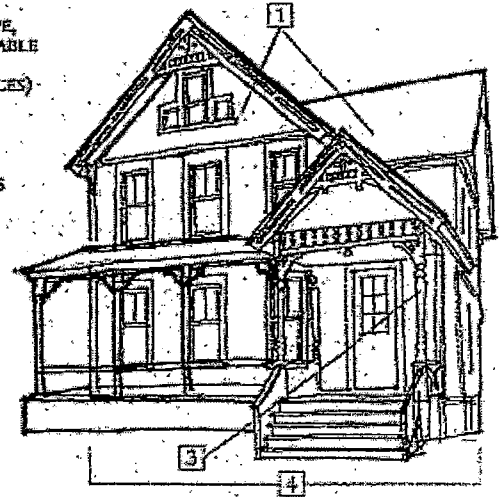
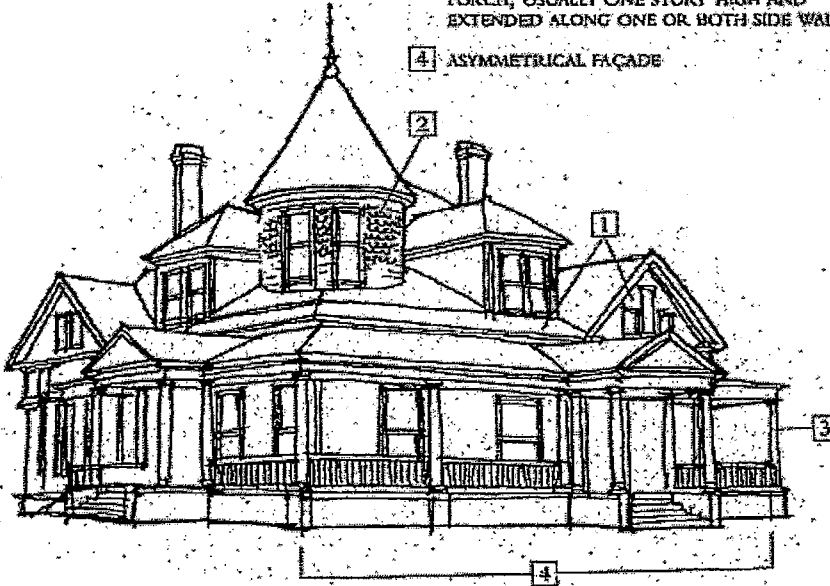
## Queen Anne Style

The 1880's thru 1900 saw the emergence of Queen Anne architecture in Ocean Grove. Exteriors blended a variety of materials, shapes, forms and textures featuring asymmetrical designs and massing with ornamental towers and turrets. Mixtures of narrow width horizontal wood clapboard siding and patterned shingles including "fish scale" and "diamond" designs were dominant. Brick and exposed split face stone foundations were used in combination with elaborately turned and cut out flat scrollwork ornament. Extensive use of brackets and decorative moldings, colored multi-paned art window sashes and doors and a variety of turned, tapered, rounded and tooled porch columns and newel posts is most notable. Queen Anne designs introduced a greater variety of window and door shapes and integrated complementary open air balconies and window bays. Roofs were multi-planed, multi-gabled with projecting eaves at attic gables creating covered and recessed porch areas. Roof cresting, finials and flared shingle details added much detail.

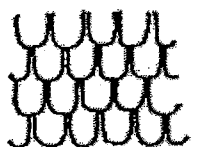
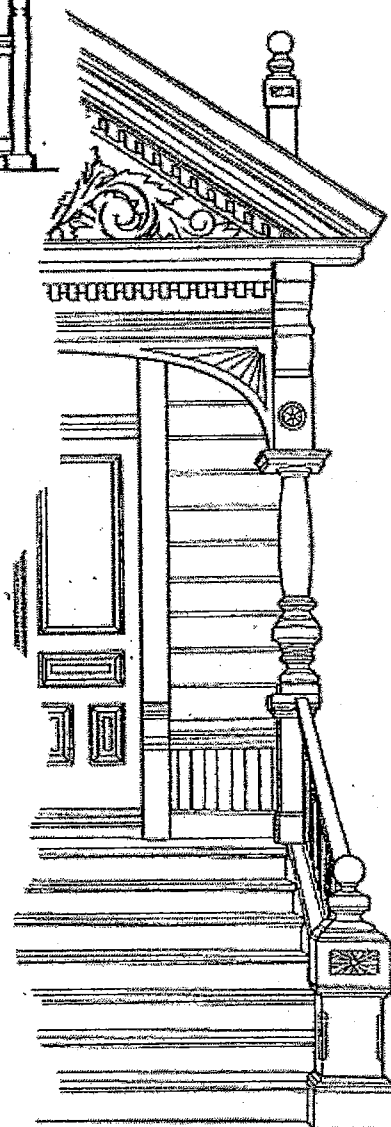
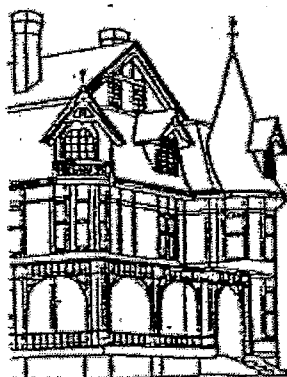
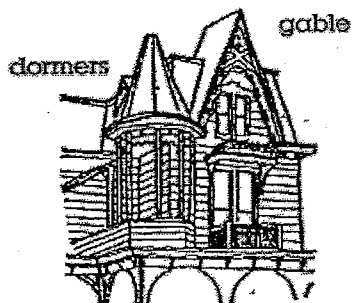
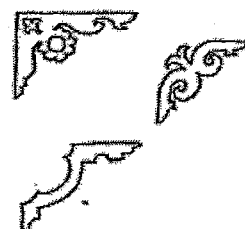
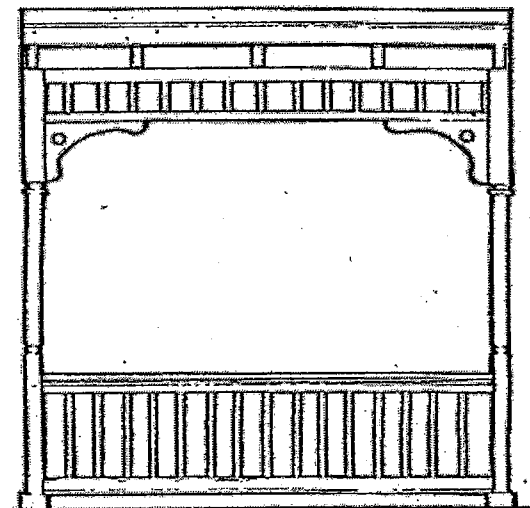
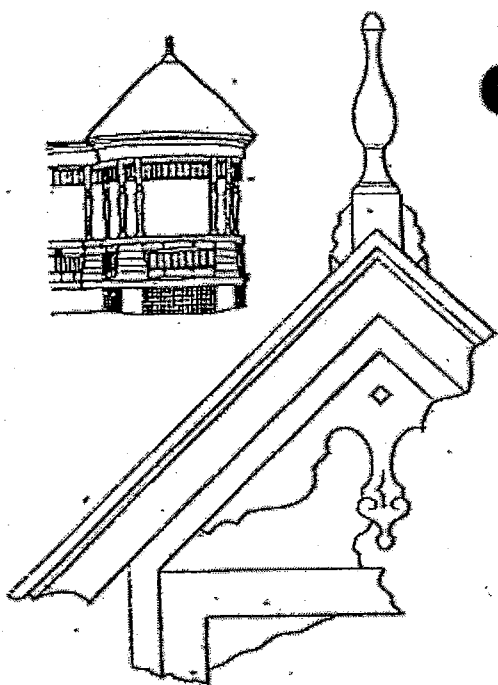
# Queen Anne Details

## IDENTIFYING FEATURES

- 1 STEEPLY PITCHED ROOF OF IRREGULAR SHAPE, USUALLY WITH DOMINANT FRONT-FACING GABLE
- 2 TEXTURED SHINGLES (AND/OR OTHER DEVICES) TO AVOID SMOOTH-WALLED APPEARANCE
- 3 PARTIAL OR FULL-WIDTH ASYMMETRICAL PORCH, USUALLY ONE STORY HIGH AND EXTENDED ALONG ONE OR BOTH SIDE WALLS
- 4 ASYMMETRICAL FAÇADE

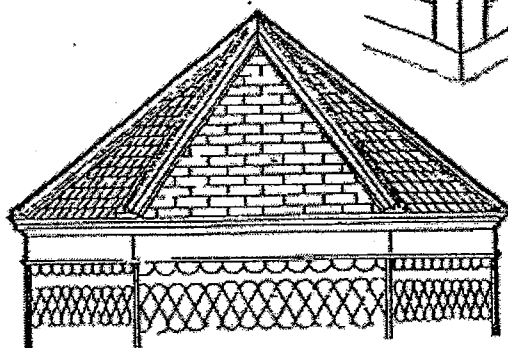
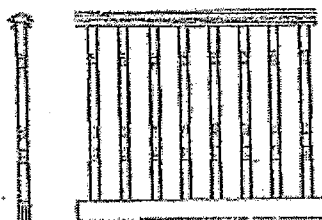
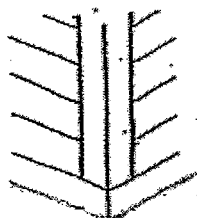


# Queen Anne Details



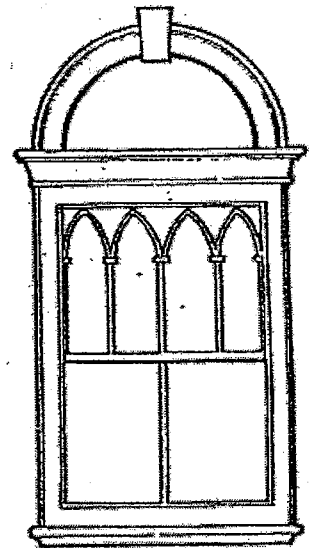
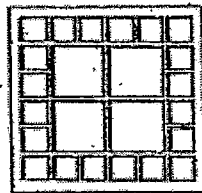
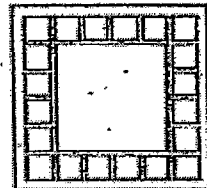
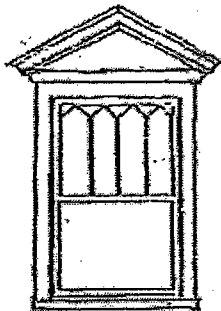
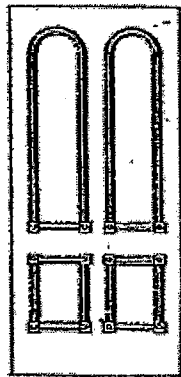
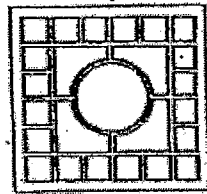
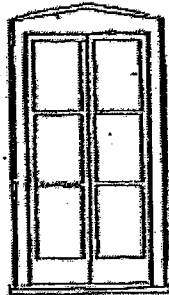
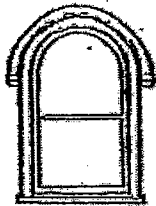
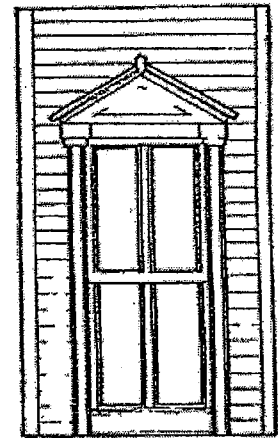
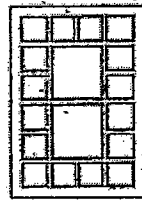
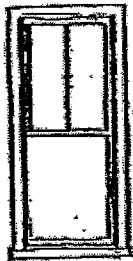
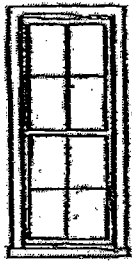
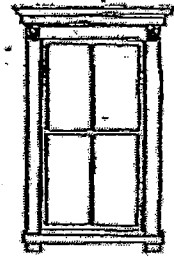
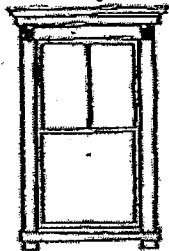
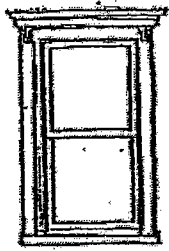
fish scale shingles

decorated porches

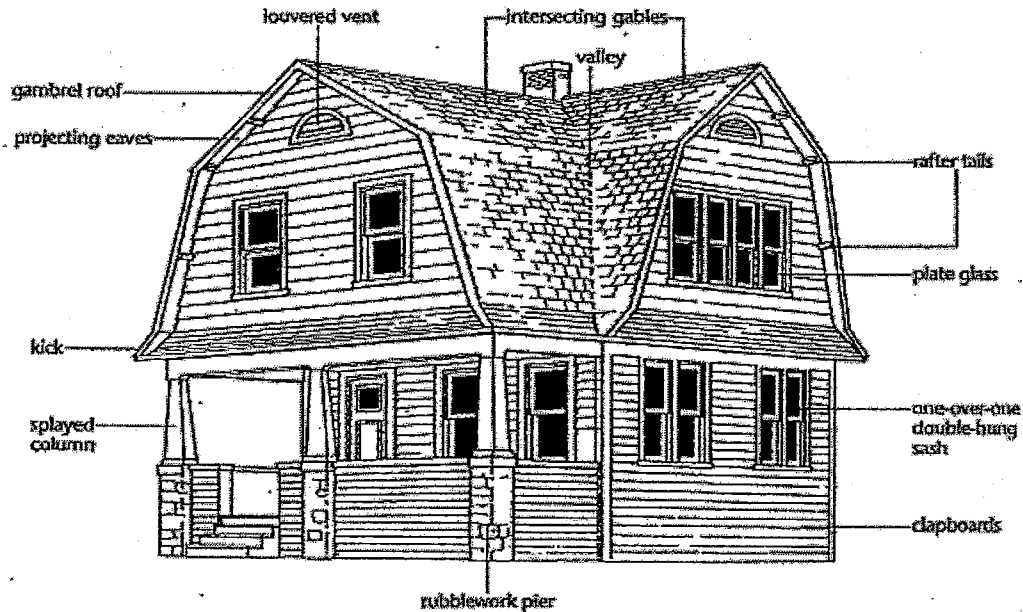




# Queen Anne Details

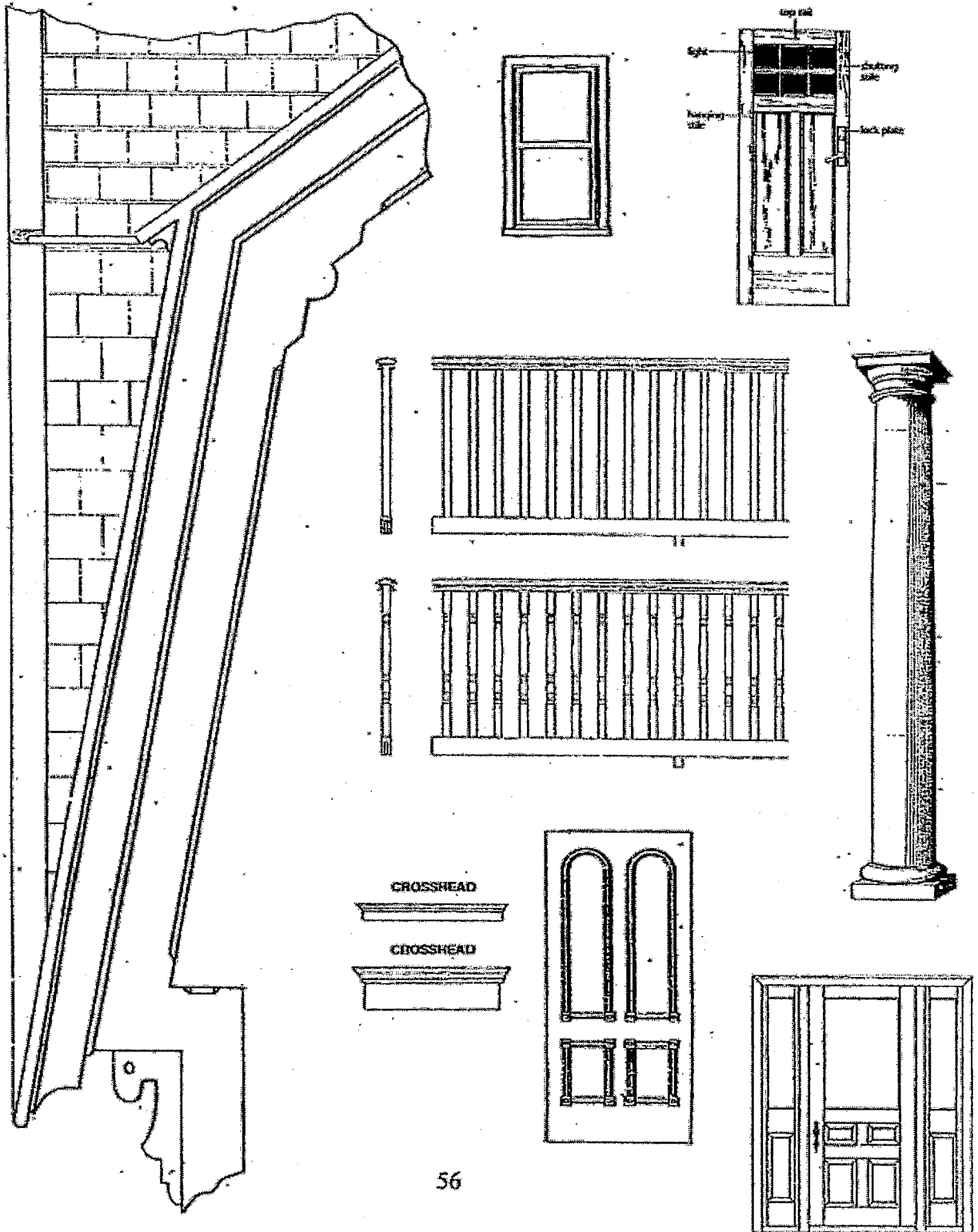


# Colonial Revival Style

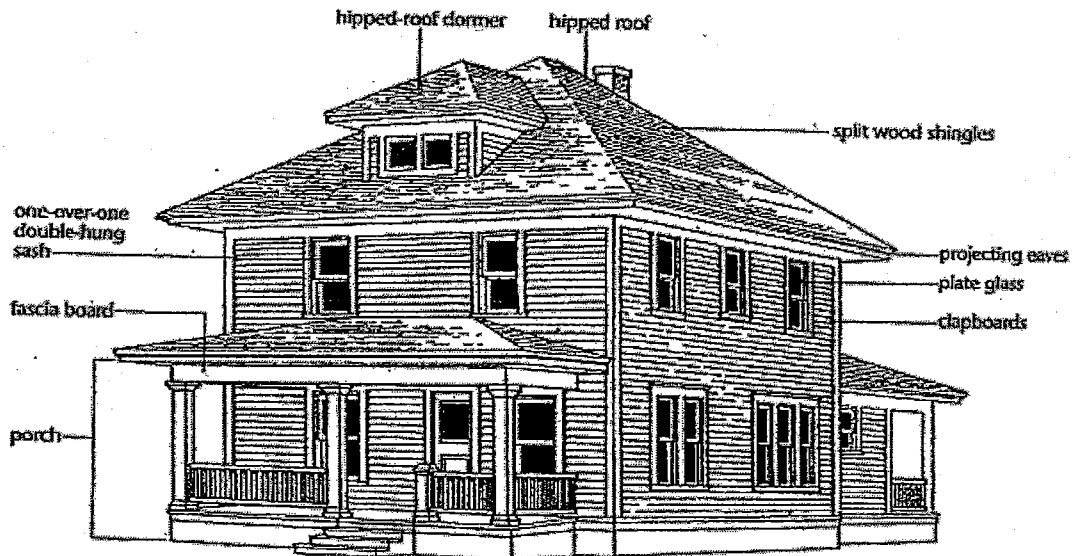


The Colonial Revival has had the most significant impact on the early Victorian design aesthetic found in Ocean Grove. Design trends in the late 19th Century showed renewed interest in simpler forms and classic styles. The trend continued well into the first half of the Twentieth Century with Colonial Revival Styles including variations of the American Four Square, Dutch Colonial, and expanded Bungalows with Colonial and Classical design influences. Features included classical tapered columns, Palladian windows, columns base piers, doorways with sidelights, large 1/1 single plate window sash designs frequently placed in pairs or even threes. Roofs were usually moderately pitched with a fewer, but notable number of structures adapting Dutch Colonial gambrel style roof forms. Siding treatments were of either wood clapboard or shingle. Window and door openings as well as building corners were trimmed with flat boards. Overhangs and eaves exposed rafter tails and attic sometimes spouted small dormers, louvered vents or attic windows for added ventilation. Renovations of some original structures were performed as a result of the Colonial Revival movement. Renovations at those structures replaced ornamental railings with square spindles and simpler door and window replacements. As a result of their craftsmanship, many of these modifications and additions have acquired historic significance of their own.

# Colonial Revival Details

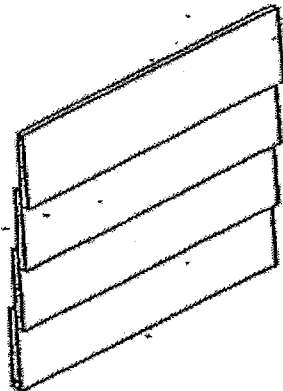
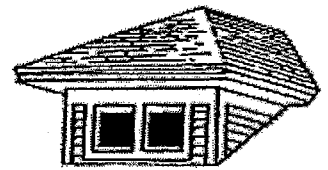
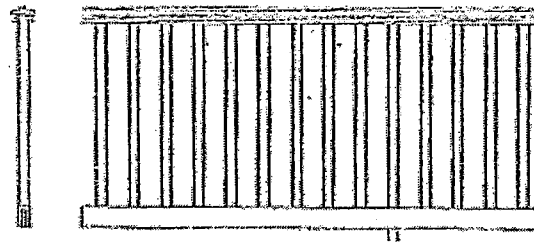


# American Four Square Style

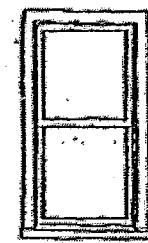
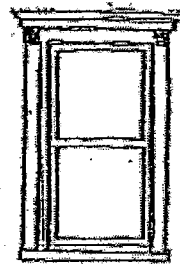
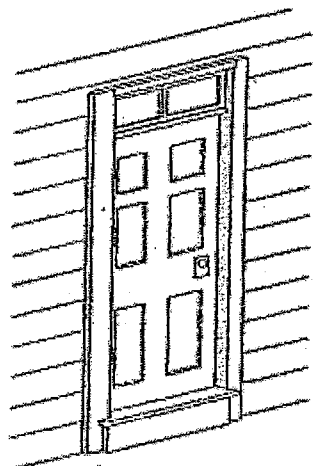
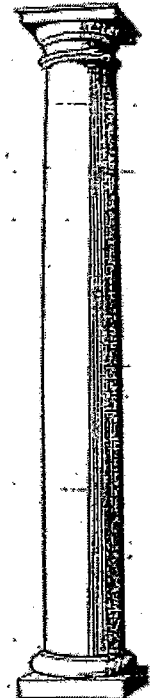
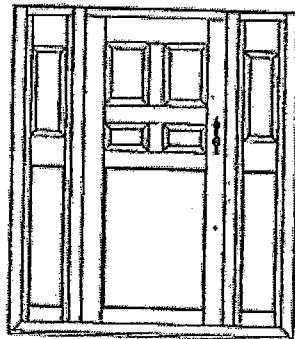
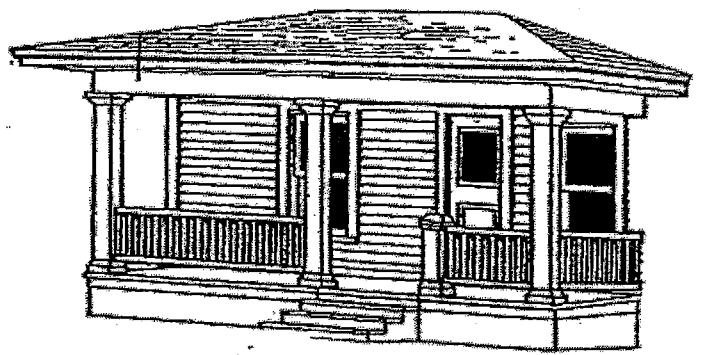


The American Four Square is recognized as a post-Victorian architectural style which was extremely popular from 1900 through 1925 in Ocean Grove. It marked a return to symmetry and simplicity of residential designs which preceded the Gothic, Stick, Eastlake and Queen Anne styles, while offering convenience of indoor plumbing, central heating, closets and more. The American Four Square is best characterized as a 2-tory box-like dwelling with a hip or pyramidal roof with a large front dormer in the attic space and at times on all sides. The front porch extends the full width of the structure with stout square or round Colonial style columns with simple equally and closely spaced square porch railing spindles. Most Four Squares in Ocean Grove are of the Colonial Revival variety featuring large 1/1 single plate window sash designs frequently placed in pairs or even threes. Siding treatments were of either wood clapboard or shingle. Window and door openings as well as building corners were trimmed with flat boards. Overhangs and eaves were well pronounced with occasional treatments featuring exposed rafter ends. As a result of their simplicity in craftsmanship and place in Ocean Grove's rich architectural history, these homes have acquired historic significance of their own.

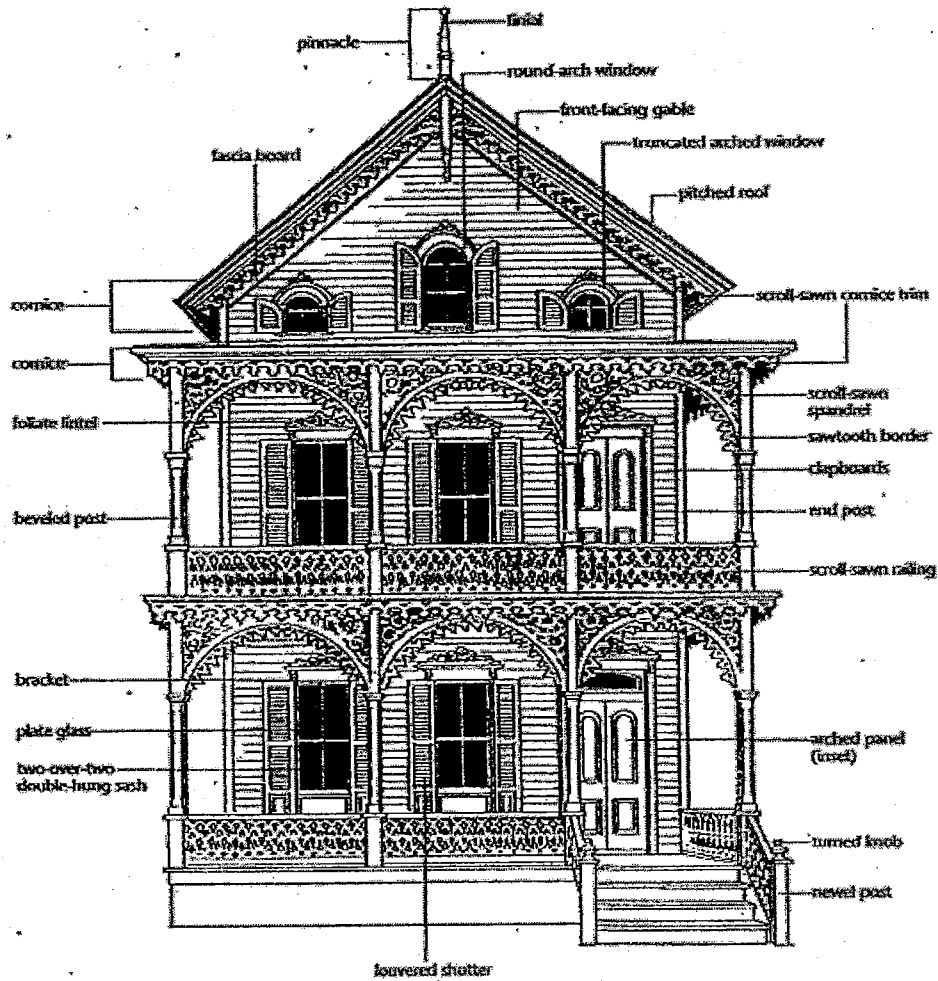
# American Four Square Details



bevel siding

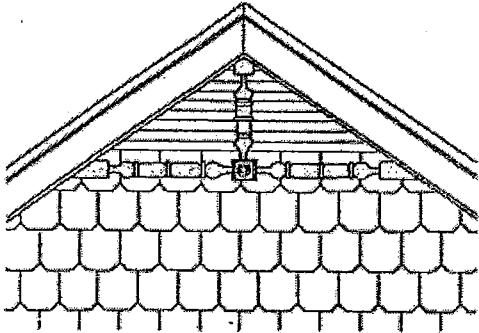
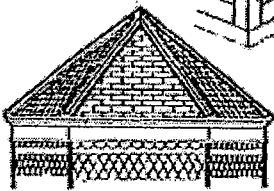
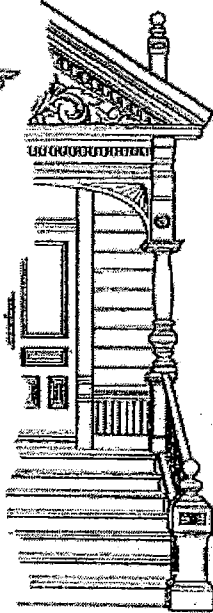
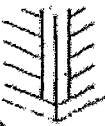
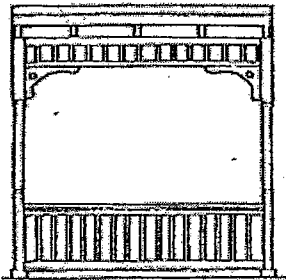


# Victorian Eclectic Style



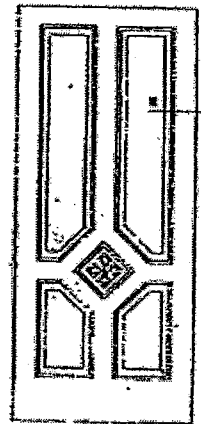
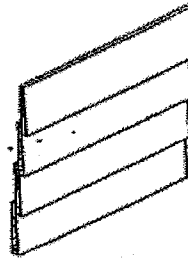
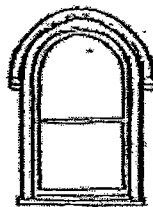
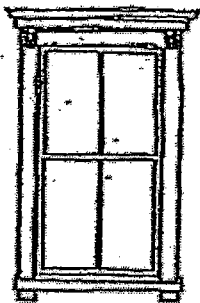
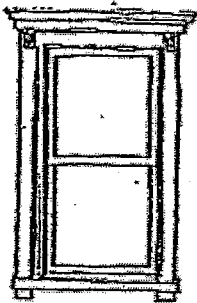
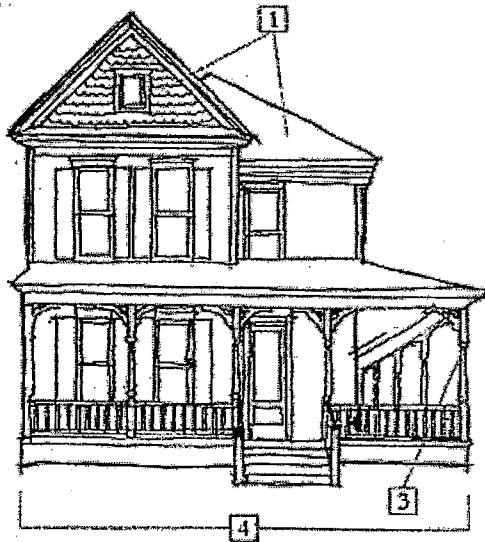
The Victorian Eclectic Style is a commonly found architectural hybrid in Ocean Grove. The 2-story and 2 1/2-story dwellings are either "L" or "T" shaped in plan and exhibit a variety of complementary stylistic influences. Specifically, elements from Italianate, Eastlake, Gothic and Queen Anne designs were freely combined in construction. Carpenters of the late 19th Century and earliest decades of the Twentieth Century borrowed from other styles with results being fanciful compositions and examples of artisanship rather than a specific architectural style. While some of the Victorian Eclectic Style structures in Ocean Grove scrollwork and elaborate trim, most display little or limited architectural ornament, relying on prominent end facing gables, ample open air 1-story and 2-story covered porches, symmetrically balanced and positioned doors and windows with wide corner trim and window and door surrounds topped with simple crown moldings and closely spaced square spindles at porch and balcony railings.

# Victorian Eclectic Details

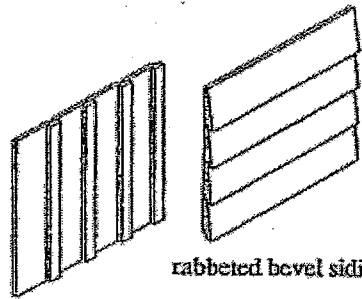
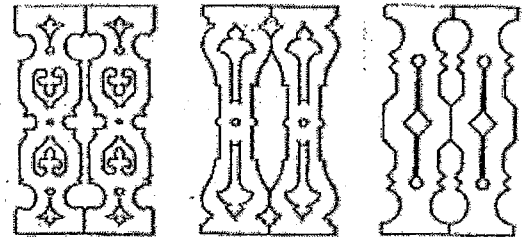
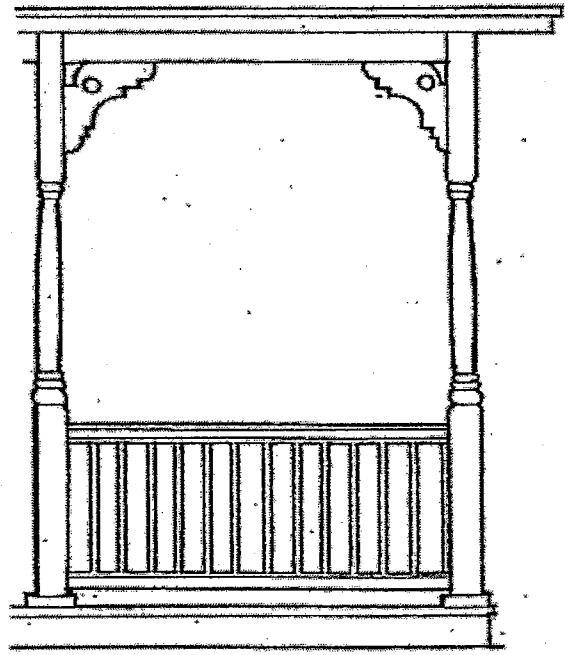
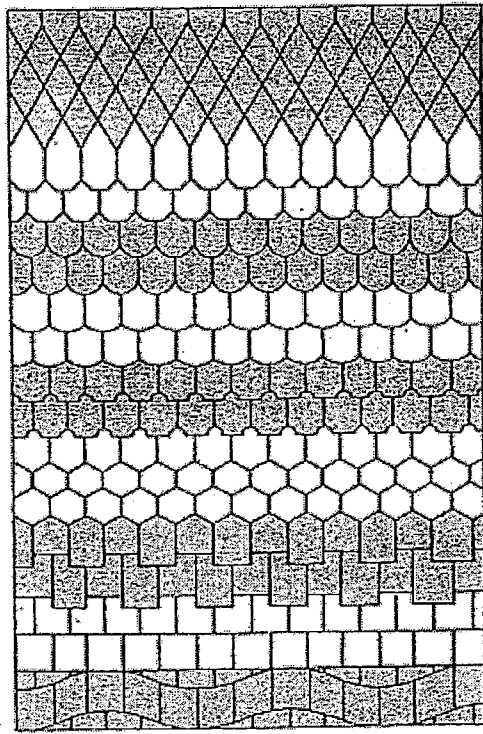
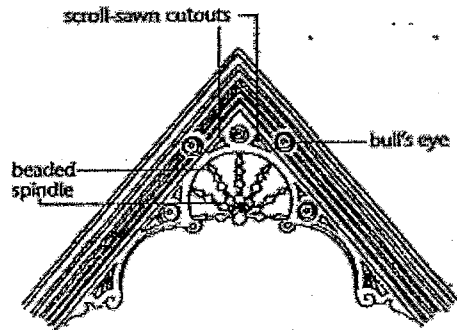


## IDENTIFYING FEATURES

- 1 STEEPLY PITCHED ROOF OF IRREGULAR SHAPE, USUALLY WITH DOMINANT FRONT-FACING GABLE
- 2 TEXTURED SHINGLES (AND/OR OTHER DEVICES) TO AVOID SMOOTH-WALLED APPEARANCE
- 3 PARTIAL OR FULL-WIDTH ASYMMETRICAL PORCH, USUALLY ONE STORY HIGH AND EXTENDED ALONG ONE OR BOTH SIDE WALLS
- 4 ASYMMETRICAL FACADE

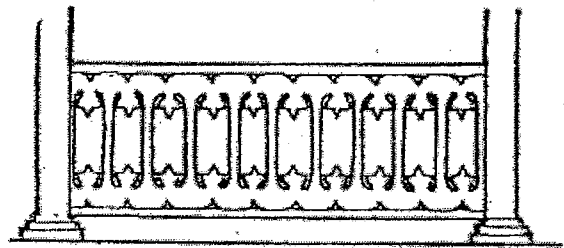


# Victorian Eclectic Details



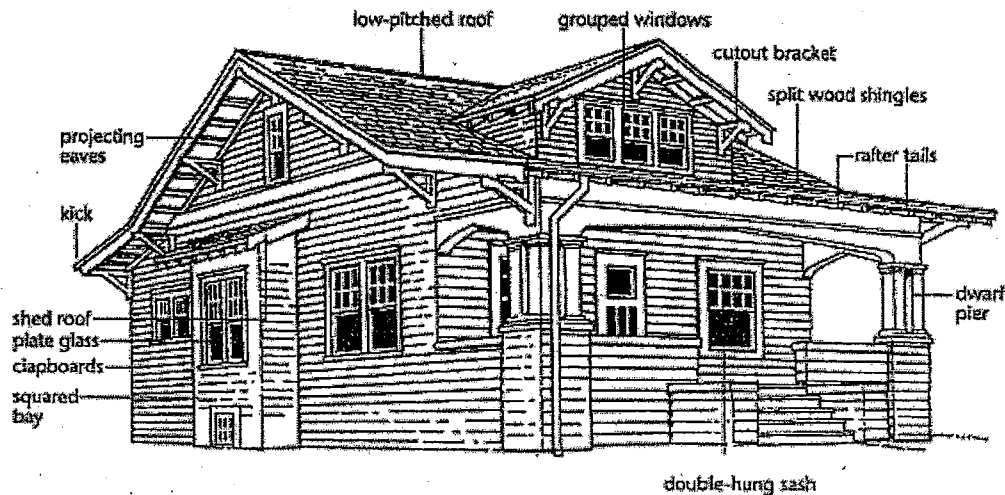
board and batten siding

rabbeted bevel siding





# Craftsman Style

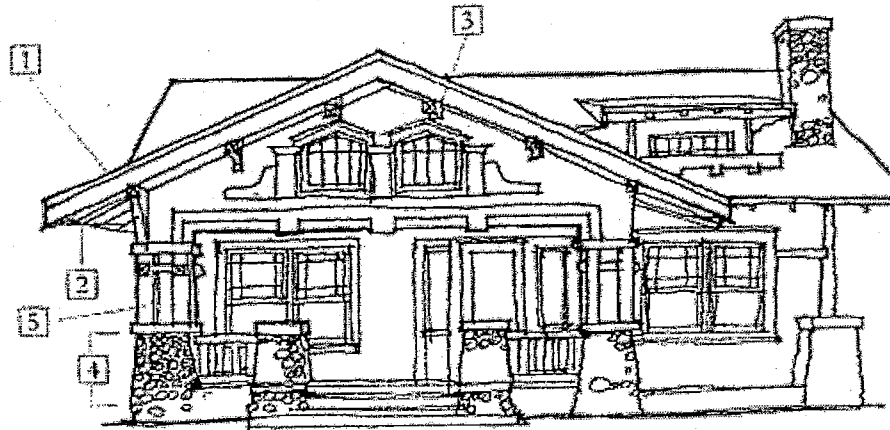


Craftsman Style, also known as the Arts and Crafts Style, were popular contractor-builder residential dwellings primarily constructed between 1890 and 1920. The Arts and Crafts movement in American Architecture focused on extolling the virtues of handcrafted art and architecture versus that of the machine. The machine aesthetic was regarded as impersonal by period architects and artisans. In response, the design of a house in which all its elements, both interior and exterior, received artful attention...and variations of the Craftsman Style home were prominent nationwide.

The Craftsman Style dwelling was best suited for relatively long and narrow lots, common in most urban settings and suitable to the common 30 x 60 foot lot configurations of Ocean Grove. Craftsman architecture featured a low pitch and projecting gable roof over a one-story dwelling with just enough roof pitch, at times, to permit a partial second floor. Other distinctive features included exposed rafters, low shed dormers, tapered or pyramidal porch post or pillars, ample covered front porch space and grouped or banded double-hung windows.

Craftsman Style homes usually reflected the architecture of the region which they were built. In Ocean Grove, as throughout the Jersey Shore area, Craftsman Cottages were in harmony with the local seaside vernacular. Craftsman cottages were most often finished with painted or weathered wood shingles. However, wood clapboard and even stucco were also common choices. Exterior colors were earth tone and individuality was introduced through crafted window shutter details, added pergolas, roof eyebrows or eyelids, ornamental rafter tails, selection of post and pillar material (stone, concrete, shingle, brick or board), and integration of ornamental window sash grille work. Similarity in many of the Craftsman Style homes was a direct result of the numerous pattern books and building kits which were made available during that era.

# Craftsman Style Detail



## IDENTIFYING FEATURES

- 1 LOW-PITCHED GABLED ROOF (OCCASIONALLY HIPPED) WITH WIDE, UNENCLOSED EAVE OVERHANG
- 2 ROOF RAFTERS USUALLY EXPOSED
- 3 DECORATIVE BEAMS OR BRACES UNDER GABLES
- 4 PORCH SUPPORT BASES EXTENDING TO GROUND LEVEL (WITHOUT BREAK AT LEVEL OF PORCH FLOOR)
- 5 PORCH SUPPORTS USUALLY SQUARED AND SOMETIMES SLANTING INWARD



## Ocean Grove Residential Structures - Facade Design Guidelines

### **B. Proper Application of Architectural Features, Trim and Details**

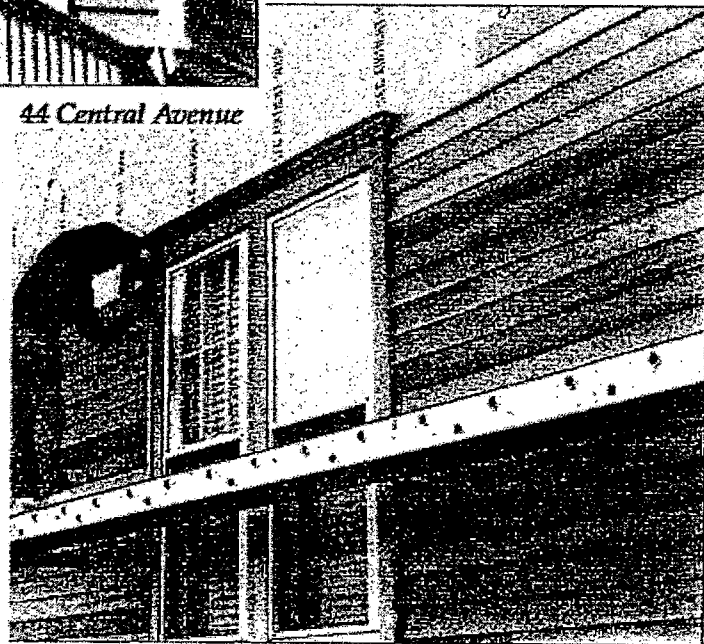


## Ocean Grove Residential Structures - Facade Design Guidelines

### **B. Proper Application of Architectural Features, Trim and Details**



*44 Central Avenue*



*Renovation in progress on Lake Avenue.*

## Ocean Grove Residential Structures -Facade Design Guidelines

### VI. Glossary of Terms and Definitions

**"addition"** - an increase in the footprint area of a building or an increase in the average height of the highest roof surface or the number of stories of a building

**"advisory opinion"**- from time to time the HPC may issue an advisory opinion which further explains its position relating to a specific section or sections of the Ocean Grove Historic District - Architectural Design Guidelines for Residential Structures.

**"alteration"** - the rearrangement of any space by the construction of walls or partitions or by a change in ceiling height, the addition or elimination of any door or window, the extension or rearrangement of any system, the installation of any additional equipment or fixtures and any work which reduces the load bearing capacity of or which imposes additional loads on a primary structural component.

**"balcony"** - is an open air uncovered porch with direct access from the interior of the dwelling only; balconies are usually located on the upper levels of a dwelling, are rimmed with railing and may vary in size.

**"baluster"** - an equally spaced square or turned spindle, flat ornamental slat or series of vertical posts supporting the top rail of the balustrade rail or positioned between the top and bottom rails at porches, balconies or stair railings.

**"balustrade"** - a porch or balcony railing with a top, or a top and bottom, rail with spindles, ornamental slats or vertical posts positioned between the rails.

**"barge board/verge board"** - the decorative board attached to the projecting portion of a gable roof, also known as a verge board.

**"Batten"** - a board less than 4" wide used to cover the joint between siding boards.

**"bay"** - the regular external division of a building marked by windows or other vertical elements, most often with three angled sides and positioned to be an external projecting feature, also known as a bay window.

**"board and batten"** - wood siding in which the wider boards are covered at the joints with a narrow board.

**"board on board"** - wood siding, fencing or roofing characterized by overlapping vertical boards that alternate forward and back.

**“bracket”** - a small curved or saw-cut or cast projecting element which supports a horizontal exterior trim member or roof overhang, window or door hood or canopy, or any exterior cornice detail.

**“capital”** - the top element of a column or pilaster.

**“Carriage House”** - the reference is to a stable structure where large wood slatted doors allowed access for the storage of carriages; *“Carriage House”* type garage doors utilize solid wood panels or narrow vertical tongue and groove wood facing and heavy wood battens as trim; *“Carriage House”* type garage doors may also be fabricated with either decorative cross board supports or be of raised panel designs or may feature small windows with true divided lights where natural light or visibility is required; *“Carriage House”* type doors always appear to operate as hinged swing or folding type.

**“Certificate of Appropriateness”** - is a document issued by the Historic Preservation Commission approving any preservation, restoration, rehabilitation or alteration of property dealing with construction, demolition, additions, removals, repairs or introduction of any architectural feature for any existing or proposed new construction.

**“change of use”** - means a change from one Use to another Use in a building or tenancy or portion thereof.

**“clad”** - technique where existing materials are covered with new ones rather than removing them;

**“clap board”** - is horizontal exterior siding which is lapped or layered.

**“column”** - a vertical pillar or shaft usually supporting a member above

**“construction permit”** - the written approval and certificate which must be obtained from the Township Building Department after obtaining a Certificate of Appropriateness from the Historic Preservation Commission and before the start of construction.

**“corner board”** - the narrow or wide vertical board at the exterior corners of a frame building

**“cornice”** - a projecting molding at the top of a building or wall

**“cupola”** - a small roof tower, usually rising from the topmost center of the roof ridge or turret. Cupolas may have windows and have a variety of roof types including gables, conical roofs and square, hexagonal or octagonal bases.

**"deck"** - strictly refers to the structural element, plank or other surfacing material, placed upon the floor framing of a balcony or porch.

**"demolition"** - is the partial or total razing, dismantling or destruction of any building or structure, or of any other improvement within the Historic District. *The demolition of existing structures in Ocean Grove is contrary to the mission of the Historic Preservation Commission and any demolition must meet rigorous review criteria during the approval/denial process.*

**"dentil"** - small square blocks extending along the underside of a projecting cornice.

**"Design Guidelines"** - refers to the criteria as set forth by the Historic Preservation Commission and the Township of Neptune regarding the exterior architectural treatments and facades of any building or structure.

**"dormer"** - a small window with its own gable, shed, hip or arched roof projecting from a sloping roof.

**"eaves"** - the projecting overhang at the lower edge of a roof.

**"entablature"** - the classical architectural term which describes the part of a building which is supported by columns and consisting of a cornice, frieze and architrave, or an assemblage of architectural moldings and trim creating a crown molding type detail on building exteriors.

**"eyelid/eyebrow"** - the low profile arched element similar to the roof dormer featuring half round or low profile arched windows which function as historic skylights or clerestories.

**"exterior alteration"** - means any change in the exterior architectural features of a building or any other structure including repainting, additions, or the demolition of part of a building with the exception of repainting the exterior of the structure in the same color(s) for maintenance purposes.

**"exterior architectural feature"** - means any element of the exterior architectural style, design or general arrangement of a structure that is visible from the outside including, but not limited to, the style and placement of all windows, doors, gutters, garages, porches, railings, steps, stairs, lighting, roof type and color, building material, signage and decorative elements including landscaping, fences and features.

**"facade"** - the exterior face or elevation of a building visible to public view

**“fanlight”** - an arched transom located over doors or windows comprised of glazing pieces seamed with wood grille work muntins positioned in a radial manner from the center base of the arched transom.

**“finial”** - the projecting ornamental element at the top of a gable, spire or pointed roof

**“frieze”** - the middle portion of a wide flat board under a cornice detail which may be ornamented or paneled.

**“gable roof”** - a roof with a central high point or ridge which creates a slope to either side, also known as the triangular section of wall under the sloped roof lines.

**“gambrel roof”** - a roof with a central ridge and two angled roof segments on either side of the ridge, similar to a traditional barn roof, also known as a Dutch colonial roof

**“grass strip”** - the required strip of lawn of 12”-18” between the curb and the sidewalk. Only organic materials such as grass and trees are allowed in this area.

**“hip roof”** - a roof with uniform slopes on all four sides extending from a central ridge line or point

**“historic flared avenue open space”** - the unobstructed area located between the curb line and the front leasehold building/property line for particular properties within the first block from the ocean front between Ocean and Central Avenues so as to maximize views and vistas of the shore line. The exception to this is Spray Avenue.

**“historic integrity”** - the authenticity of the property’s historic identity, evidenced by the survival of physical characteristics that existed during the property’s historic architectural period

**“historic landmark”** - means historic building structure or site, or any property under the protection of landmark status within the designated Historic District.

**“historic site”** - is any real property, man-made structure, natural object or significant location which has been formally designated as being historic and exhibit or possess archaeological, cultural or architectural significance, or otherwise located within the boundaries and limits of a formally designated Historic District.

**“historic sites inventory”** - is a list of historic properties determined to meet criteria of formal designation as identified as a “historic site” or “historic landmark”.

**“HVAC”** - means heating, ventilation and air conditioning systems.



**“lattice”** - pattern produced by interlacing laths or slat like trim or other thin strips of wood or simulated wood material in a manner to screen the underside of porches or other areas to be shielded from public view. This is typically vertical and horizontal in Ocean Grove.

**“leaded glass window”** - a window that is composed of pieces of glass that are held in place with lead strips; the glass may be clear, colored or stained; leaded glass windows are often referred to as “stained glass windows”.

**“lintel”** - the horizontal decorative beam or structural member positioned over a wall opening or span between columns.

**“mansard roof”** - a roof traditionally having a steep single or double slope on all four sides of a building's footprint

**“modillion”** - the horizontal block or bracket placed under the overhang of the cornice.

**“mullion”** - the vertical divider in a window

**“muntin”** - the dividing strips between the glazed panes in a multi-paned window.

**“national register criteria”** - means the established criteria for evaluating the eligibility of properties for inclusion in the National Register of Historic Places.

**“pediment”** - the triangular gable end of the roof; also any similar crowning element used over the doors or windows, usually triangular but may be arched or curved.

**“pendent”**- the projecting ornamental element at the bottom of a gable, spire or pointed roof

**“pent”** - an angled roof overhang, skirt or canopy-like detail which is attached to the perimeter of the building and most frequently found at open air porches and cornice lines; pent details usually project not more than several feet from the building line and are intended to provide added shade and weather protection. The underside of a pent detail features exposed rafters and rafter tails.

**“permit”** - includes any required Township approval for exterior work to any structure or property in the Historic District which exterior work is subject to public view. Permit shall include, but is not limited to a zoning permit, construction permit, a demolition permit, a permit to move, convert, relocate or remodel or change the use or type of occupancy of any structure or property in a historic district which involves exterior changes to the structure or property on which it is located.

**“pinnaele”** - the vertical rail with tooled and pointed ends positioned in the center of a gable ornament or at the ridge point of a gable roof with the pointed end usually extending into the gable area below the roof line.

**“pilaster”** - a shallow pillar attached to the wall resembling a classical column; also commonly used at door and window surrounds and trim.

**“pop-ups”** - refers to the introduction of additional floor levels by raising partial or total existing roof areas in order to increase new living space and thereby significantly altering the original scale, form and architectural character of the existing dwelling.

**“porch”** - is a spatially defined and covered open air area immediately adjacent to the structure which features columns, railing, floor decking, architectural ornamentation reflecting the architectural style and period of the dwelling. A porch essentially a one-story framed open air enclosure which is largely transparent and may vary in size. Porches are most commonly located on dwelling fronts but may be positioned on side, alley and rear elevation depending on lot configuration and architectural design.

**“portico”** - an entrance porch

**“preservation”** - the act or process of applying measures to sustain the existing form, integrity and materials of a building or structure, and the landscape features and vegetative cover of a site where integral to the visual experience of the building, property or site. It may include stabilization work, where necessary, as well as ongoing maintenance of the historic building materials.

**“PVC”** - refers to poly vinyl chloride materials used in manufacture of piping, railings and some ornamental trim.

**“reconstruction”** - any project where the extent and nature of the work is such that the work area cannot be occupied while the work is in progress and where a new certificate of occupancy is required before the work area can be reoccupied. Reconstruction may include repair, renovation, alteration or any combination thereof. Reconstruction shall not include projects comprised only of floor finish replacement, painting or wallpapering, or the replacement of equipment or furnishings. Asbestos hazard abatement and lead hazard abatement projects shall not be classified as reconstruction solely because occupancy of the work area is not permitted.

**“Rehab Code”** - the regulatory Sub Code used in conjunction with the International Residential Code 2000/New Jersey Editions; the Rehab Code allows for various exceptions in requirements for improvements where structures are deemed either historic landmarks, historically significant or where structures are existing

**"rehabilitation"** - the repair, renovation, alteration or reconstruction of any building or structure. Rehabilitation is the act or process of returning a property to the state of utility through repair or alteration which makes continued use and habitability possible while preserving those portions or features of the property which are significant to its historical, architectural and cultural values.

**"renovation"** - the removal and replacement or covering of existing interior or exterior finish, trim, doors, windows, or other materials with new materials that serve the same purpose and do not change the configuration of space. Renovation shall include the replacement of equipment or fixtures.

**"repair"** - the return to a good or sound condition of materials, systems and/or components that are worn, deteriorated or broken using materials or components identical to or closely similar to the existing.

**"restoration"** - the act or process of accurately recovering the form and details of a property as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work, details, ornamentation, finishes, features and trim.

**"retaining wall"** - a structure that is designed and constructed to stabilize two generally horizontal surfaces which are vertically displaced, and which shall be either a landscape retaining wall or structural retaining wall:

1. landscape retaining wall shall mean a retaining wall greater than eighteen (18) inches but less than four (4) feet in height, which does not support any site improvement within four (4) feet of the top of the wall.
2. structural retaining wall shall mean retaining wall greater than four (4) feet in height, or a retaining wall with any site improvement located within a distance from the top of the wall equal to the height of the retaining wall.

**"sash"** - the frame in which a glass window is set; a sash may be moveable, slide vertically or be fixed in place; often referenced as the top and bottom sash of a double hung window.

**"sill"** - the lower horizontal member of a door frame, window frame or wall.

**"soffit"** - the exposed underside of an extended overhead component of a building such as the undersurface of a roof overhang, arched opening, cornice or porch canopy.

**"seaside vernacular"** - refers to the indigenous architectural character of the Historic District as an ocean front community which features specific forms, shapes and other elements which harmonize with the seaside breezes, sun shading, summer season activities, and complement the dominant and pre-existing architectural historic styles.

**"structure"** - best described as a combination of materials constructed for use, occupancy or ornamentation whether installed on, above or below the surface of land.

**"system"** - means the primary structural, mechanical, plumbing, electrical, fire protection, or occupant service components of a building including any equipment, fixtures, connections, conduits, wires, pipes, ducts, as well as any associated sensors, controls, distribution or safety elements.

**"T-III"** - refers to texture one eleven manufactured wood sheathing which is fabricated with vertical grooved reveals that is intended for exterior application.

**"technically infeasible"** - means, in connection with accessibility requirements, a change that has little likelihood of being accomplished because the existing structural conditions require the removal or alteration of a load bearing member that is an essential part of the structural frame, or because other existing physical or site constraints prohibit modification or addition of elements, spaces or features which are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

**"tower"**- an often small but dominant corner tower with either a conical roof or hexagonal or octagonal base form with steep angle roof sides culminating in a high central point

**"transom"** - a small window over a door or another window; a transom may be rectangular, fan-shaped, arched or elliptical, and may contain stained, leaded or otherwise ornamental period style glass.

**"turned post"** - a post which is ornamented by the carving of grooved detail in the mid section of porch columns or posts; groove detail may create narrow rings, wide bands or globe like forms, and usually feature combinations of each.

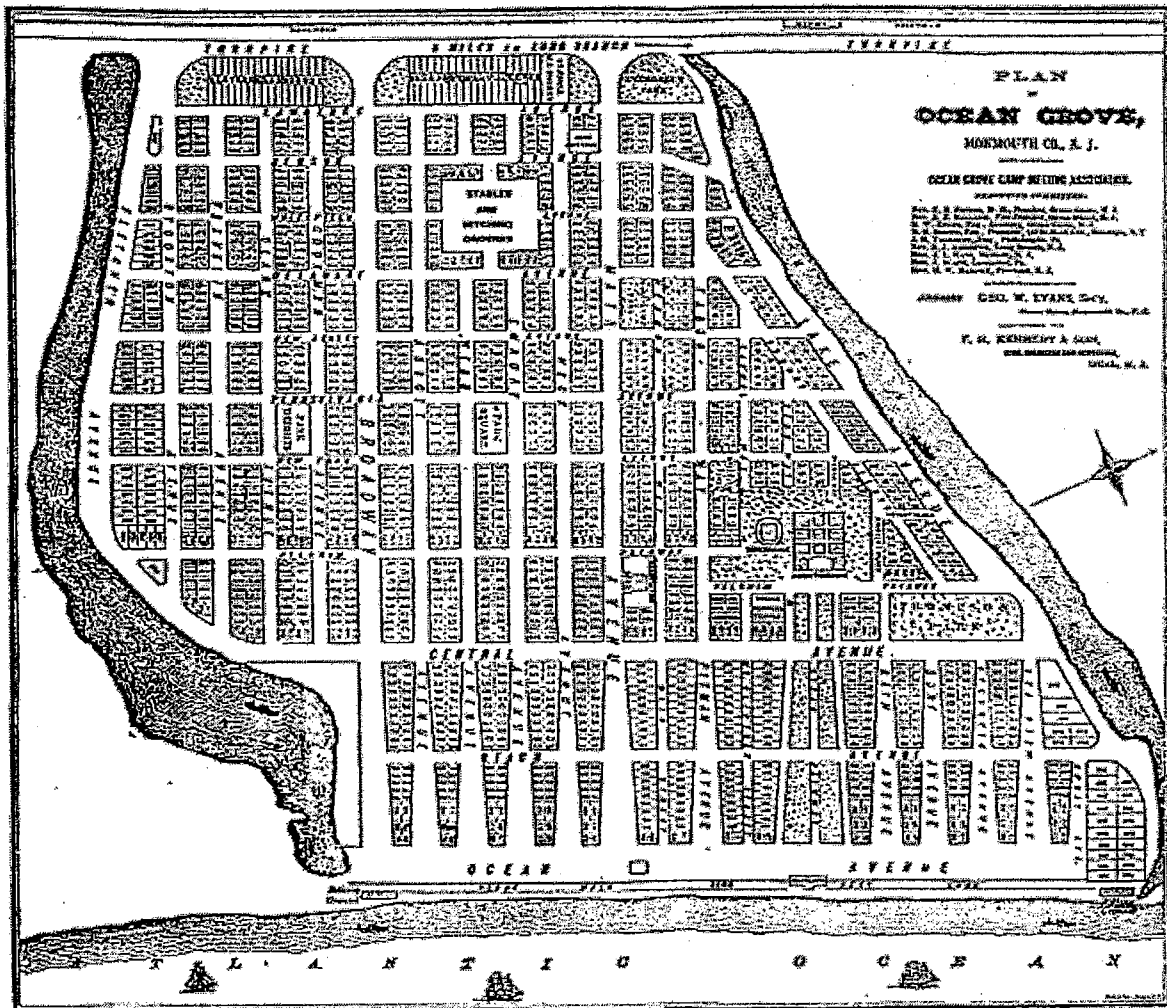
**"turret"** - an often small but dominant corner tower with either a conical roof or hexagonal or octagonal base form with steep angle roof sides culminating in a high central point.

**"use"** - means that portion of a building or tenancy which is devoted to a single Use Group or special Use or occupancy as defined in the building sub code or as established by the provisions of any other sub code for the purpose of specifying special requirements applicable to that portion of a building or tenancy.

"Use Group" - means the Use Group classification of the building sub code.

"Victorian Era Architecture" - the period of American architecture generally recognized as being built between 1880 and 1910 and include a variety of styles including Eastlake, Gothic Revival, Queen Anne, Craftsman and Stick Styles.

"visible from street" - refers to the ability to view any element or device from street level or a street grade location within a public street right-of-way.



*Plan of Ocean Grove, 1881.*

*Annual Report of the Ocean Grove Camp Meeting Association*

## Ocean Grove Residential Structures -Facade Design Guidelines

### VII. FAQ's - Frequently Asked Questions

The following is a summary of the most frequently asked questions concerning repairs, renovations, alterations, reconstructions and additions to single and two-family residences in Ocean Grove.

1. *What is the (BAR) HPC ?*
2. *Do I really need a Building Permit for my project?*
3. *I am doing all the work myself and I know what I want.  
Do I need an Architect's Drawings to apply for a Certificate of Appropriateness from the HPC?*
4. *How long does it take to get an approval from HPC ?*
5. *Why do I need to get another approval from the Building Department if HPC said it was OK ? How long will that take ?*
6. *How close can I build my addition to my property line ?*
7. *I want to keep the low height of my existing porch guard rails. If I replace them, will they make me build it higher ?*
8. *What is an acceptable railing type and spacing?*
9. *When do I need a handrail on an exterior step ?*
10. *How wide can I make my front steps before I need handrails ?*
11. *If I want to replace a deteriorated existing side (or rear) window (that is 2 feet or less from the property line) in the exact same location, can I do it ?*
12. *Can I make an existing side/rear window or door bigger ?*
13. *Can I add another side (or rear) window or door ?*
14. *Do I have to provide large egress type windows in all the bedrooms if I start a renovation ?*
15. *Do I have to provide fire rated exterior materials on my addition ?*
16. *Can I use vinyl siding ?*
17. *Can I clad over existing siding? What if existing shingle is asbestos?*
18. *Can I clad over window and door surrounds and exterior trim?*
19. *How high can I build my addition ? How high can I build my turret or tower ?*
20. *Can I just demolish part of my house which is rotted beyond repair and replace it with a new addition ?*
21. *Can I eliminate existing door and window openings?*
22. *What era do I select for my existing home?*
23. *I have seen a similar treatment elsewhere in Ocean Grove. Can I do the same thing? Why not if someone else has done it?*
24. *Are synthetic architectural ornamental detail and trim acceptable?*
25. *How do I select the right paint scheme?*

1. **What is the (BAR) HPC ?**

The HPC (*formerly the BAR or Board of Architectural Review*) was formed by Township Ordinance in 1982 and acts in an advisory capacity to the Planning Board and the Zoning Board of Adjustment for the Township of Neptune, and has final authority in the review of all projects not requiring approval of either of those boards.

All proposed work involving exterior finishes and elements such as paint, color, doors, windows, siding, roofing, porches, fences and railings or any other physical element or improvement within the limits of the lot will be subject to review by the **Historic Preservation Commission, hereafter referenced as HPC.**

Upon application for review and demonstration of compliance with **The Design Guidelines**, the HPC will issue a *Certificate of Appropriateness*.

The review of proposed improvements is limited to the architectural form and treatments on the exterior of the structure even if interior work is part of the overall scope.

Projects limited to interior work need not obtain approval from the HPC.

Simple items, minor improvements and emergency repairs are often handled administratively by HPC. The *Certificate of Appropriateness* in such instances are issued without need of further meetings and public presentations. All others will be required to appear at a public meeting in order to obtain HPC approval.

2. **Do I really need a Building Permit for my project?**

Repair and maintenance projects are authorized to proceed upon written receipt of a *Certificate of Appropriateness* from the HPC but may still require a *Construction Permit*.

No Construction Permit is required when proposed siding work is less than 25% of the total building wall exterior and/or work does not include new construction or structural work.

All other renovations, alterations, reconstructions and new construction projects always require a Construction Permit.

3. **I am doing the work myself and I know what I want. Do I need Architect's Drawings to apply for a Certificate of Appropriateness from the HPC ?**

No, if proposed improvements are limited to repairs and maintenance type work such as new roofing, porch decking and railing repair, paint or exterior siding work. HPC's policy is that use of an Architect is optional. The Applicant is to submit simple sketches, samples of materials and colors. It is, however, advisable to retain the services of an Architect if proposed improvements include substantial renovations, alterations, additions or new construction.

Scope of proposed work may require retention of an Architect for Building Department Permit issuance purposes. It is advisable to consult with your Building Department Official or Architect.

When services of an Architect are required, four (4) sets of signed and sealed construction documents (professionally prepared and detailed plans and exterior elevation drawings) are to be submitted for HPC review.

**4. How long does it take to get an approval from HPC ?**

HPC meets monthly. Upon approval, a *Certificate of Appropriateness* is usually issued in approximately 10 days.

**5. Why do I need to get another approval from the Building Department if HPC said it was OK? How long will that take?**

Projects requiring a *Construction Permit* are subject to code compliance plan review by the Township of Neptune **Construction Code Enforcement** staff. Approvals may be obtained within a 2 to 6 week period depending on the scope of proposed work and review activity. Reviews are to be performed within the statutes and guide of New Jersey State Law and the Uniform Construction Code.

**6. How close can I build my addition to the side and back property line?**

Zoning will ultimately determine setbacks, but generally a 2 foot from the side property line rule applies and zero from the rear. The proximity to the property line governs the provisions for construction wall assembly type, fire-rating and percentage of allowable window and door openings.

**7. I want to keep the low height of my existing porch guard rails. If I replace them, will they make me build it higher ?**

No, not if the structure is a single or two-family residence within the Historic



District of Ocean Grove. The **Rehab Code** allows for such deviation when existing railings are being repaired under **Section 6.33(b)10**. In most cases, a letter from an Architect certifying the existing height and indicating that such a porch guard rail is being replaced will satisfy **Construction Code Enforcement**. However, a 30 inch minimum high railing is always required where a finished porch deck is 30 to 48 inches above grade.

**8. What is an acceptable railing type and spacing?**

Acceptable railings may be flat slatted type cut in appropriate pattern, be 1 1/2 inch square or ornamental turned spindles. Spacing is not to exceed a dimension which will permit a 4 inch diameter sphere to pass. Therefore, clear space shall not exceed 4 inches, or technically 3 15/16 inches in clear space dimension. Closer spacing of 2 to 3 inches may be more appropriate or preferred.

**9. When do I need a handrail on an exterior step ?**

Handrails are required where stairs have three (3) or more risers.

**10. How wide can I make my front steps before I may need a handrail ?**

Width is not a factor. Handrail requirement are determined by height from grade when three (3) or more risers create a stair situation or a drop to grade of greater than 18 inches is proposed.

**11. If I want to replace a deteriorated existing side (or rear) window (that is 2 feet or less from the property line) in the exact same location, can I do it ?**

**Yes.** The key word here is "existing" window. New windows must be at least 3 feet from a property line and comply with allowable percentage of opening tables as established by Code. Architect's plans and calculations are usually required.

**12. Can I make the existing side (or rear) window or door bigger ?**

**No,** unless specific design criteria are met such as a distance of at least 3 feet from the property line are met and compliance with allowable percentage of opening tables, as established by Code are observed in the proposed work. Architect's plans and calculations are usually required.

**13. Can I add another side or (rear) window or door ?**

Depends on proximity to property line, construction type and percentage of total window and door opening. New window and door openings are not permitted within a distance less than three (3) foot of a side property line. Consultation with your design professional and/or Neptune Township Construction Code Official is recommended.

**14. Do I have to provide large egress type windows in all the bedrooms if I start a renovation ?**

No, unless new windows are framed or new bedrooms are created. Existing windows need not be changed but replacement windows must comply with the Rehab Code requirements of a total of 5.7 square feet of clear window opening.

**15. When do I have to provide fire rated exterior materials on my addition ?**

All wall assemblies within 3 feet of a property line must be fire rated. A rating of 1-Hour fire resistance is required with treatment of both sides of the wall assembly.

Use of FRT or fire retardant sheathing is not acceptable. Approved Fire Rated exterior grade gypsum board must be used as an exterior sheathing application beneath the placement of exterior siding, shingles or other finishes.

The use of such sheathing does not affect the exterior appearance of the structure.

**16. Can I use vinyl siding ?**

HPC strongly discourages the use of vinyl siding on the front facade of all residential structures. In some cases vinyl siding may be used at side and rear areas where it may not be visible from the street, however, the application of wood facings and siding are preferred. Cement siding board and wood are preferred alternatives.

In addition, all vinyl sidings are not the same. Check the manufacturer's listing for approved rating. Most vinyl sidings also emit toxic gases when burning.

In the event a vinyl or fiberglass or other similar polymer or synthetic material is used, by choice of the Owner, the product must comply with all aspects as detailed in **The Design Guidelines**.

In brief, horizontal boards must be seamless in length and application; be of an appropriate narrow face dimension; and be smooth faced in texture and finish. Stamped wood grain is not acceptable. Shingles may be perfect cut, split, scalloped or "fish scale", diamond or other historically appropriate shape and configuration. Application of synthetic siding material on residential structures deemed either as "key" or "contributing", as described herein, may result in the application for *Certificate of Appropriateness* to be denied.

**17. Can I clad over the existing siding? What if it is asbestos shingle?**

Covering a problem siding, with either new vinyl or wood, is a way of hiding it but does not resolve issues of rot and infestation. Removal of problem siding may actually expose well preserved and handsome details and siding worthy of preservation. Cladding also increases the depth or profile dimension of the siding which causes problems at points of window and door surrounds and trim. Cladding is unacceptable and discouraged.

Asbestos shingle may either be removed and disposed by qualified contractors or encapsulated. This is the one exception to the use of cladding.

**18. Can I clad over window and door surrounds and other exterior trim?**

No, cladding with aluminum or vinyl is unacceptable. Cladding obscures detail and creates unsightly corner joints.

**19. How high can I build my addition ? How high can I build my turret or tower?**

Single-family residences may be **35 feet to mean roof height**. The mean roof height is defined as the average roof height measured from the bottom of the roof overhang eaves to the top of the roof ridge.

All proposed towers, turrets cupolas and steeples are subject to zoning approval and will be reviewed on a case by case basis.

Multi-family residential structures are subject to review by zoning officials to determine conformity with zoning requirements.

**20. Can I just demolish part of my house which is rotted beyond repair and replace it with a new addition?**

Partial demolition must be reviewed by HPC. Demolition of marginal rear of dwelling segments is usually considered. Demolition of original front of dwelling facades is not.

Requests for demolition will be heard on a case by case basis and merits of each request shall be considered.

**21. Can I eliminate existing door and window openings?**

The elimination of historic or original existing window and door openings should always be avoided with the exception where such openings may pose a fire safety concern. Elimination of such openings on rear or side elevations or generally not visible from the street, will be considered by HPC.

**22. What era do I select for my existing home?**

The rule is to go back to the structure's original style and form. It is understood that many structures evolve over time with various alterations and additions. However, all such alterations and additions may neither be enhancements nor architecturally appropriate.

Each proposed improvement will be reviewed the HPC on a case by case basis.

Appropriate architectural styles are illustrated in Section V. **Illustrations of Appropriate Architectural Treatments**, which provides examples of historically appropriate architectural solutions.

**23. I have seen a similar treatment elsewhere in Ocean Grove.  
Can I do the same thing? Why not if someone else has done it?**

All existing architectural treatments found in Ocean Grove are not examples to be replicated. Some may be historically inaccurate, inappropriate, or non-compliant with **The Design Guidelines**.

The combination of architectural treatments, trim, ornamentation and details from various structures of different eras may result in an inappropriate hybrid...inconsistent and in conflict with the heritage and predominant architectural styles of Ocean Grove.

24. **Are synthetic architectural ornamental detail and trim acceptable?**

The use of fiberglass, polymers and other synthetic architectural ornaments, details and trim is acceptable in all remote locations so as to eliminate paint and maintenance requirements. Use of painted wood products is always welcomed and encouraged at building fronts and within immediate pedestrian interface.

25. **How do I select the right paint scheme?**

Definitive color schemes are not a set as an absolute rule, however, paint manufacturer's, such as Benjamin Moore and Sherwin Williams, offer catalogs and reference sheets indicating appropriate historic color combinations. As a general guide, and whenever possible, building color should accurately reflect its original era. Historic colors are not appropriate to all historic homes. Suggested paint color treatments are described in **The Design Guidelines**.

# Ocean Grove Residential Structures -Facade Design Guidelines

## VIII. Addendum: Excerpts from Neptune Township Land Ordinance

### SECTION 604 ESTABLISHMENT OF THE HISTORIC PRESERVATION COMMISSION

- A. Statutory authority. Pursuant to N.J.S.A. 40:55D-107 et seq., there is hereby established an Historic Preservation Commission whose membership, powers and duties are intended to be those of an historic preservation commission created by the Municipal Land Use Law, the extent of which are hereinafter set forth.
- B. Board of architectural review. By adoption of this Ordinance, the Historic Preservation Commission replaces the existing Board of Architectural Review. Existing members of the Board of Architectural Review will continue to serve the balance of their respective terms as members of the Historic Preservation Commission.
- C. Membership. The Historic Preservation Commission shall be made up of seven (7) regular members and two (2) alternate members all appointed by the Mayor. All members shall serve without compensation and shall be interested in or qualified to contribute to the preservation of historic resources. At the time of appointment, members shall be designated by the following classes:
1. Class A. One (1) regular member who is knowledgeable in building designs and construction or architectural history and who may reside outside the municipality.
  2. Class B. Two (2) regular members who are knowledgeable or with a demonstrated interest in local history and who may reside outside the municipality.
  3. Class C. Four (4) regular members and two (2) alternate members who shall hold no other municipal office, position or employment except for membership on the Planning Board or Zoning Board. At the time of appointment, "Class C" members shall be further designated by the following criteria:
    - (a) One (1) member shall be an active member of the Historical Society of Ocean Grove (Class C1) with a demonstrated interest, competence or knowledge in historic preservation.
    - (b) One (1) member shall be an active member of the Neptune Township Historic Society (Class C2), with a demonstrated interest, competence or knowledge in historic preservation.
    - (c) Two (2) members, to be selected from the Township at large, one (1) of whom may be a member of the Planning Board or Board of Adjustment (Class C3).
    - (d) Two (2) alternate members to be designated as "Alternate No. 1" and "Alternate No. 2". Alternate members shall be selected from the Township at large, one (1) of whom may be a member of the Planning Board or Zoning Board of Adjustment.
- D. Role of alternate members. Alternate members may participate in discussions of the proceedings but may not vote except in the absence or disqualification of a regular

member of any Class. A vote shall not be delayed in order that a regular member may vote instead of an alternate member. In the event that a choice must be made as to which alternate member is to vote, "Alternate No. 1" shall vote.

- E. Terms. Regular members shall serve for a period of four (4) years and alternate members shall be appointed for a term of one (1) year. Notwithstanding any other provision herein, the term of any member common to the Historic Preservation Commission and the Planning Board shall be for the term of membership on the Planning Board; and the term of any member common to the Historic Preservation Commission and the Zoning Board of Adjustment shall be for the term of membership on the Zoning Board of Adjustment.
- F. Vacancies. A vacancy occurring otherwise than by expiration of term shall be filled within sixty (60) days and shall be filled for the unexpired term only.
- G. Organization. The Historic Preservation Commission shall elect a Chairman and a Vice Chairman from its members and select a Secretary who may or may not be a member of the Historic Preservation Commission or an employee of the Township.
- H. Compensation. Members of the HPC shall serve without compensation except that reimbursement of reasonable expenses in the execution of official duties may be made by the municipality
- I. Removal. Any member may be removed by the governing body for cause but only after public hearing and other due process proceedings.
- J. Conflict of interest. No member of the Historic Preservation Commission shall be permitted to act on any matter in which they have, either directly or indirectly, a personal or financial interest. A member who is so disqualified shall not continue to sit with the Historic Preservation Commission on the hearing of such matter, nor shall participate in any discussion or decision.
- K. Meetings. The Historic Preservation Commission shall adopt and may amend internal rules and procedures for the transaction of its business subject to the following:
  1. The Historic Preservation Commission shall hold regular meetings at least six (6) times per year and no member shall miss four (4) consecutive meetings unless good cause can be shown.
  2. A quorum for the transaction of all business shall be four (4) members. Ex officio members are not entitled to vote. A majority vote of those present and voting shall prevail and shall be sufficient to grant or deny a Certificate of Appropriateness. Any approval for a demolition permit shall require the affirmative vote of at least five (5) members of the Historic Preservation Commission.
  3. In addition to conducting reviews at its regularly scheduled meetings, the Historic Preservation Commission will conduct emergency review meetings when necessary. These emergency meetings shall be held at the call of the Chair when any action requiring immediate consideration is necessary. This action may include a review of temporary repairs of historic properties and review of other items pertaining to safety and the necessity for immediate and prompt action. The Chair shall convene a meeting for these purposes by giving appropriate notice in accordance with the Open Public Meetings Law and notifying the members of the Historic Preservation Commission of the time, date and location of the emergency meeting and the purpose thereof.

4. The Historic Preservation Commission shall make its decisions on designation and review in an open public meeting and applicants shall be notified of meetings and advised of decisions. Written minutes of all meetings and proceedings shall be kept, including voting records, attendance, resolutions and findings. All such material shall become public record.

B. Budget/Employees

1. The Township Committee shall budget and appropriate for the expenses of the Historic Preservation Commission. The Historic Preservation Commission may employ, contract for and fix the compensation of experts and other staff and services as it shall deem necessary. The Historic Preservation Commission shall obtain its legal counsel from the Municipal Attorney at the rate of compensation determined by the Township Committee, unless the governing body, by appropriation, provides for separate legal counsel for the Historic Preservation Commission. Expenditures shall not exceed, exclusive of gifts or grants, the amount appropriated by the Township Committee for the Historic Preservation Commission's use.
2. The Historic Preservation Commission may appoint a consultant who is a recognized professional in the field of architectural history, historic preservation or similar discipline to advise the Commission on applications before it. If the consultant has rendered an oral or written opinion, the Commission must consider the opinion of the consultant in rendering its decision and must give a statement of reasons in the event that the consultant's recommendations are not followed.
3. The Township Chief Financial Officer, Township Economic Development Director, Township Planner, Township Engineer and the Construction Official may provide such technical, administrative and clerical assistance as the Historic Preservation Commission shall require. For budgeting and purchasing purposes, however, the Commission shall be allocated its own budget.

**SECTION 605 POWERS AND RESPONSIBILITIES OF THE HISTORIC PRESERVATION COMMISSION**

The powers, duties and responsibilities of the Historic Preservation Commission as hereinafter set forth shall be advisory in nature to the Planning Board and Zoning Board of Adjustment and shall extend to applications for a Certificate of Appropriateness and shall not conflict with or supersede the powers and duties of any other Board or Agency of the Township. The Historic Preservation Commission shall have the following powers, duties and responsibilities:

- A. To identify, record and maintain a system for survey and inventory of all buildings, sites, places, landmarks and structures of historical or architectural significance based on the Secretary of the Interior's Standards and Guidelines for Archaeology and Historic Preservation (Standards and Guidelines for Identification); and to aid the public in understanding their worth, methods of preservation, techniques of gathering documentation and related matters.
- B. To make recommendations to the Planning Board on the historic preservation plan element of the Master Plan, including the designation of historic site or districts, and on the implications for the preservation of historic sites and districts of other Master Plan elements.



- C. To advise the Planning Board and Township Committee on the inclusion of historic sites in the recommended capital improvement program.
- D. To advise the Planning Board and the Zoning Board of Adjustment, pursuant to N.J.S.A. 40:55D-110, on applications for development in historic districts designated on the zoning map or on historic sites identified in the Historic Element of the Township Master Plan. Such advice shall be conveyed through the Historic Preservation Commission's delegation of one (1) of its members or staff to testify orally at the hearing on the application and to explain any written report which may have been submitted.
- E. To provide written reports and Certificates of Appropriateness, pursuant to N.J.S.A. 40:55D-111, in a manner hereinafter described, on the application of the Zoning Ordinance provisions concerning historic preservation to applications for the issuance of permits pertaining properties in an historic district.
- F. To advise the Township Committee and Planning Board on the relative merits of proposals involving public funds to restore, preserve and protect historic buildings, places and structures, including the preparation of long-range plans therefore, securing State, Federal and other grants and aid to assist therein and monitoring such projects once underway.
- G. To recommend to the Planning Board and the Township Committee the designation of additional historic districts and sites where appropriate, in accordance with the procedures and criteria for designation thereof set forth in this Ordinance.
- H. To draft and recommend to the Township Committee and the Planning Board ordinances or amendments to existing ordinances that would resolve any conflicts which may exist between the design standards of the Historic Preservation Ordinance and the building or zoning regulations of the Township.
- I. To purchase estates, easements, rights, restrictions and less than fee acquisitions, with the approval of Township Committee, and to acquire grants, assistance or aid either outright or in exchange in order to further the intent and purposes of this article and the welfare of the Township. The Historic Preservation Commission may negotiate and recommend such arrangements subject, however, to approval of the Township Committee as necessary for any monetary expenditures, and, at the direction of Township Committee. Legal counsel shall assist the Historic Preservation Commission in such arrangements.
- J. To advise and assist Township officers, employees, boards and other bodies, including those at County, State and Federal levels, on all matters which have potential impact on the historic buildings, places and structures in the Township or on the physical character and ambiance of a historic district.
- K. To assemble and arrange for the proper care, cataloging and availability of materials relevant to the Township's history.
- L. To secure the voluntary assistance of the public, and within the limits of the budget, to retain consultants and experts to assist the Historic Preservation Commission in its work or to provide testimony in support of the Historic Preservation Commission's position before other bodies, boards, commissions or courts.
- M. To cooperate with local, County, State or National historical societies, governmental bodies and organizations to maximize their contributions to the intent and purposes of this Ordinance.

- N. To recommend to applicable County, State and Federal agencies, where appropriate, recognition and protection of historic districts and historic sites and to review National and State Register nominations.
  - O. To request the Township Committee to seek, on its own motion or otherwise, injunctive relief of violations of this article or other actions contrary to the intent and purposes of this article.
  - P. To carry out such other advisory, educational and informational functions as will promote historic preservation in the municipality.
  - Q. Promote historic preservation in the Township by carrying out other advisory, educational and informational functions.
  - R. Take such action consistent with law to further the intent and purpose of this chapter and to perform any other actions which effectuate the purposes of this chapter.
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**Section 413.02 Flared Avenue Open Space Areas**

- A. Purpose. The HD-O Zone District is subject to special setback provisions dating to the late 1870's, providing for a flared setback that widens toward the ocean from Central Avenue to Ocean Avenue. This flared setback is a unique and invaluable resource that is recognized within planning, urban design and historic preservation circles as one of the first evidences of this type of streetscape treatment in the country.
  - B. Ornamentation. Aside from an access walkway and sidewalk no greater than six feet (6') in width, shrubbery, flowers and other similar ornamentation installed and maintained at a height of less than thirty (30) inches, no structures may be placed within, or may project into, the area defined as the Historic Flared Avenue Open Space area. The area between the curb and the sidewalk shall be maintained as a planted grass strip.
  - C. Vehicles. No vehicles of any type may be parked within a flared avenue open space area. This shall not preclude the parking of vehicles within the established public right-of-way.
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**SECTION 907 DEMOLITION OF STRUCTURES ON PROPERTIES IN HISTORIC ZONE DISTRICTS OR ON DESIGNATED HISTORIC SITES; NON-PUBLIC USES**

- A. Applicability. This Section applies where the proposed demolition (in whole or in part) of a structure in any historic zone district or other designated historic site situated elsewhere in the Township is for a purpose other than providing a site for a public building or land for public use such as a road widening.
- B. Application for permit. An application for a permit to demolish a structure in whole or in part, which is in any historic zone district or other designated site situated elsewhere in the Township, shall be forwarded by the Zoning Officer and/or Construction Official to the Historic Preservation Commission.

C. Written findings by Historic Preservation Commission. The Historic Preservation Commission shall make written findings on the following matters:

1. The existing ownership, use and applicant's reason for requesting demolition.
2. The structure's historical ownership and use.
3. The structure's architectural/historic importance and its status in the Township of Neptune, County, State, or national listings of such properties after notification by the Historic Preservation Commission to the appropriate agencies.
4. Any unique, unusual or rare qualities of design, materials or craftsmanship found in the subject property that could not be reproduced easily.
5. The structural soundness and integrity of the structure and the economic feasibility of restoring or rehabilitating the structure so as to comply with the requirements of any applicable building code. At the Historic Preservation Commission's request, an inspection by the Township's Construction Official shall be conducted to determine the number and extent of code violations and an estimate of the cost of needed improvements to bring the structure up to compliance with all applicable building codes.
6. The impact of the structure's demolition on the Historic District in which it is located or on neighborhoods surrounding an identified historic site, also taking into consideration undue hardship, reasonable beneficial use and the condition of the premises. The economic base of the community shall be considered as well as the public's interest in architectural, historic and aesthetic matters generally.
7. The structure's importance to the Township and the extent to which its historical or architectural value is such that its removal would be detrimental to the public interest.
8. The extent to which the structure is of such old, unusual or uncommon design, craftsmanship, texture or material that it could not be reproduced or could be reproduced only with great difficulty.

D. Public Hearings. The Historic Preservation Commission shall conduct a public hearing in order to determine whether to grant or deny the demolition permit.

1. Notice. The hearing shall be advertised, arranged and conducted by the Historic Preservation Commission as hearings are conducted by the Township for development applications. The applicant shall be responsible for sending out the appropriate notices and shall be responsible for paying the cost of the proceedings. On the date of the hearing, the applicant shall be required to provide the Historic Preservation Commission with proof of fulfilling the notification requirements specified hereinafter. The applicant shall notify in writing by certified mail, return receipt requested, the following County, State and Federal agencies at least ten (10) days prior to the date of the hearing.
  - (a) Township of Neptune Historical Society;
  - (b) Historical Society of Ocean Grove;
  - (c) State Office of Historic Preservation;

- (d) State Historic Sites Council;
- (e) Office of Archaeology and Historic Preservation, Department of the Interior; and
- (f) National Trust for Historic Preservation.

2. Stenographer required. There shall be a stenographer present to record the proceedings, the cost of which shall be the responsibility of the applicant.

E. Issuance or Denial of Demolition Permit. Based on the Historic Preservation Commission's findings (as required in Paragraph B above) and the testimony at the public hearing and following the waiting period as specified in Paragraph E below, the Historic Preservation Commission shall act on the request for demolition by either granting or denying the demolition permit.

F. Waiting Period. Following the date of the initial public hearing, there shall be established a waiting time period of at least ninety (90) days and no more than one hundred twenty (120) days to enable any interested parties to acquire or to establish a procedure for the preservation of the subject property.

G. Demolition Notice Posted. During the entirety of the waiting period, as specified in Subsection F above, a notice of the proposed demolition activity shall be posted on the premises of the building, place or structure in a location such that it is clearly readable from each street frontage. In addition, the applicant shall publish notices in the official newspaper of the Township as follows:

- 1. Within the first ten (10) days of the waiting period; and
- 2. Within not less than ten (10) nor more than fifteen (15) days prior to the expiration of the waiting period.

H. Procedure Where Demolition Application is Denied. In the event that the Historic Preservation Commission denies an application for a Certificate of Appropriateness to demolish a historic building, place or structure, the owner shall, nevertheless, as a matter of right, be entitled to raze or demolish such building, place or structure provided that all of the following requirements have been fully met:

- 1. The owner has applied for the necessary demolition permit and has received notice of denial of same from the Historic Preservation Commission and has appealed to the Zoning Board of Adjustment, which has affirmed such denial.
- 2. The owner has met the notice requirements set forth in Subsection G above for the full waiting period as defined in Subsection F above.
- 3. The owner has, during the waiting period and at a price reasonably related to its fair market value, made a bona fide offer to sell such building, place or structure and the land pertaining thereto to any person, organization, government or agency thereof or political subdivision which gives reasonable assurance that it is willing to preserve the building, place or structure and the land pertaining thereto.
- 4. The owner shall not have been a party to any bona fide contract, binding upon all parties thereto, for the sale of any such building, place or structure and the land pertaining thereto executed prior to the expiration of the notice period, except a contract made in accordance with Paragraph (3) above.

**SECTION 908 DEMOLITION OF STRUCTURES ON PROPERTIES IN HISTORIC ZONE DISTRICTS AND ON DESIGNATED HISTORIC SITES; PUBLIC USES**

- A. Applicability. This Section applies where the proposed demolition (in whole or in part) of a structure in any historic zone district or other designated historic site situated elsewhere in the Township is for the purpose of providing a site for a public building or land for public use such as a road widening.
- B. Notice Required. The applicant for the demolition permit shall notify the following agencies as well as the Historic Preservation Advisory Committee:
1. Township of Neptune Historical Society;
  2. Historical Society of Ocean Grove;
  3. State Office of Historic Preservation;
  4. State Historic Sites Council;
  5. Office of Archaeology and Historic Preservation, Department of the Interior; and
  6. National Trust for Historic Preservation.

## Ocean Grove Residential Structures -Facade Design Guidelines

### **IX. Credits**

The Guidelines Sub-Committee of the Historic Preservation Commission:  
Philip J Capozzi, Lucinda Heinlein and Debbie Osepchuk

The Office of the Historic Preservation Commission of Neptune:  
Rose C. Havey  
Administrative Officer, Zoning Board of Adjustment  
Historic Preservation Commission, Secretary

A Victorian House Builder's Guide - George E. Woodward

American Shelter - Lester Walker

Architecture of the Victorian Era - E. C. Hussey

Bricknell's Victorian Buildings - A. J. Bricknell and Company

Century of Color - Roger W. Moss

Clues to American Architecture - Marilyn W. Klein and David P. Fogle

Designs for Street Fronts, Suburban Houses and Cottages - M.F. Cummings & C.C. Miller

Great American Houses and their Architectural Styles - Virginia & Lee McAlester

Guidelines for the Township of Neptune's Board of Architectural Review/1983

Home Renovator's Guide for Historic Ocean Grove/1989 - Gail Hunton & Jennifer Boyd

Preservation Guidelines Manual/1989 - Constance M. Greiff and Anne Weber, AIA

Victorian City and Country Houses - George E. Woodward

Victorian Exterior Decoration - Roger W. Moss and Gail Caskey Winkler

Victorian Domestic Architectural Plans and Details - William T. Comstock

Visual Dictionary of American Domestic Architecture - Rachel Carley