

PROPERTY OWNERS WITHIN 200 FEET

BLOCK	LOT	OWNERS NAME	PROPERTY ADDRESS
3001	4	TOWNSHIP OF NEPTUNE	OLD CORLIES AVENUE
3001	5	WEGEMAN, CHARLES RICHARD JR.	3404 HIGHWAY 33
3001	6	RYAL HOLDING LLC	3324 HIGHWAY 33
3001	7	DELLET, CYNTHIA E.	3322 HIGHWAY 33
3001	8	DELLETTI, MACK DAVISON	3320 HIGHWAY 33
3001	29	TOWNSHIP OF NEPTUNE	803 OLD CORLIES AVENUE
3301	2,01	HELEOTIS, DIANE & THEODORE	3317 HIGHWAY 33
3301	5	ALLOCCA, PAUL & PATRICIA	3315 HIGHWAY 33
3301	6	3321 HIGHWAY 33 NEPTUNE, LLC	3321 HIGHWAY 33
3301	43	CONGREGATION TORAT EL JERSEY SHORE	3351 HIGHWAY 33

NEW JERSEY AMERICAN WATER COMPANY
ATTN: DONNA SHORT G.I.S. SUPERVISOR
1025 LAUREL OAKS ROAD
WOODBRIDGE, NJ 08043

VERIZON
LEGAL DEPARTMENT, 17TH FLOOR
C/O LAND USE MATTERS
540 BROAD STREET
NEWARK, NJ 07102

NEW JERSEY NATURAL GAS COMPANY
ATTN: RIGHT OF WAY DEPARTMENT
1415 WYCKOFF ROAD
WALL TWP., NJ 07719

JERSEY CENTRAL POWER & LIGHT COMPANY
ATTN: LAND USE MATTERS
300 MADISON AVENUE
MORRISTOWN, NJ 07960

MONMOUTH CABLEVISION
ATTN: LAND USE MATTERS
1501 18TH AVENUE
WALL TWP., NJ 07719

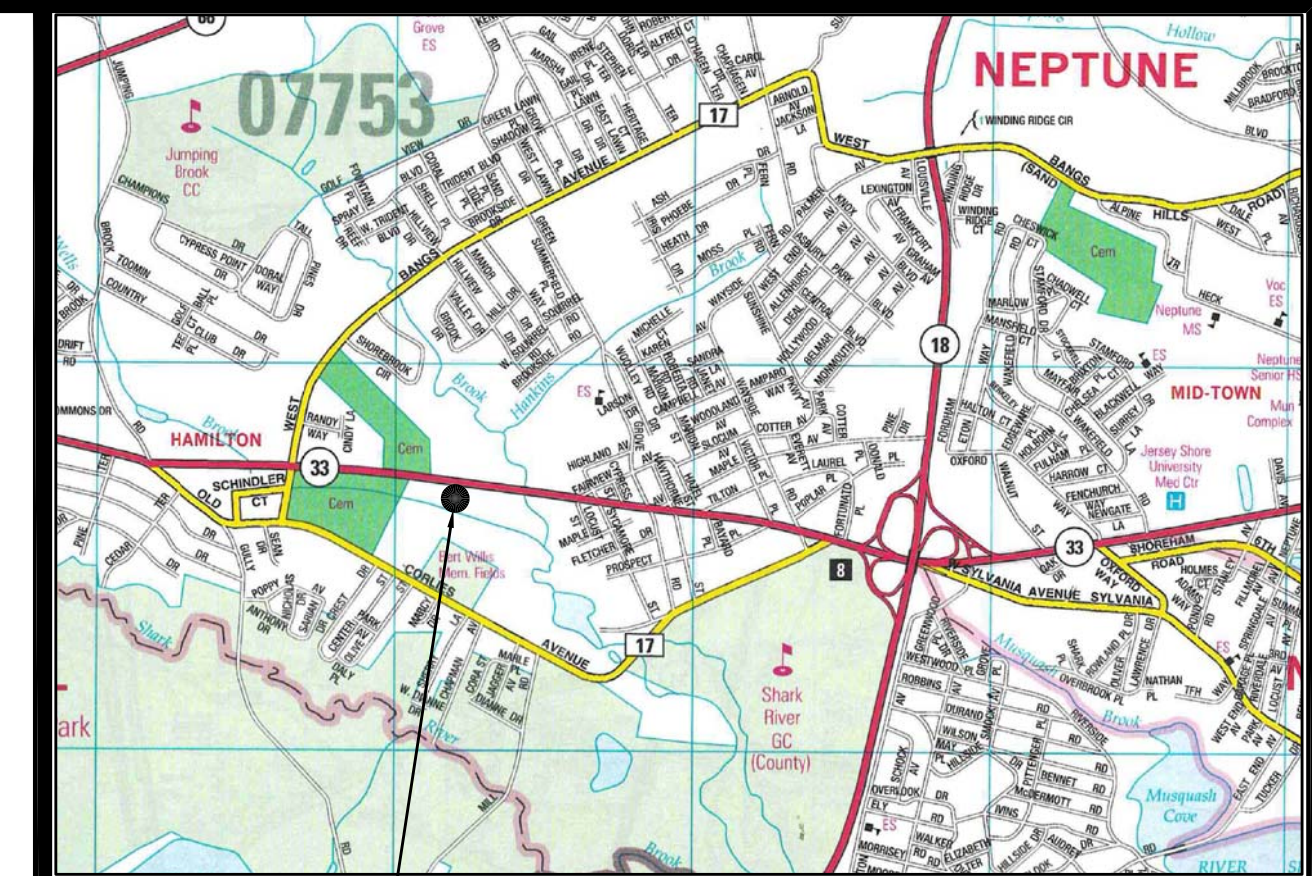
MONMOUTH COUNTY PLANNING BOARD
HALL OF RECORDS ANNEX
PO BOX 1255
FREEHOLD, NJ 07728-1125

DEPARTMENT OF TRANSPORTATION
C/O COMMISSIONER OF TRANSPORTATION
PO BOX 600
TRENTON, NJ 08625

USE VARIANCE SITE PLAN

RYAL HOLDING LLC

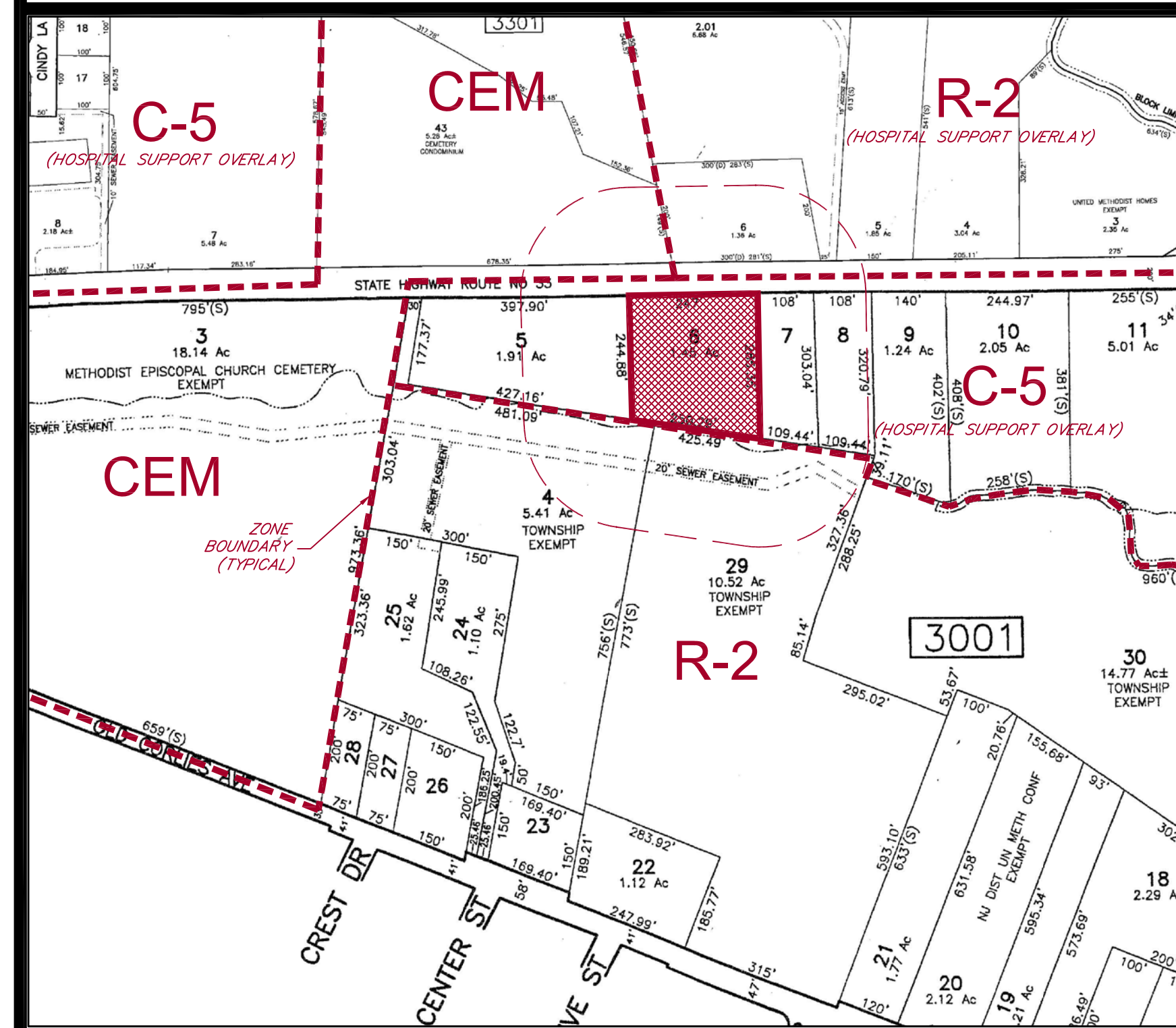
3324 N.J.S.H. ROUTE 33
TAX BLOCK 3001 , TAX LOT 6
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY , NEW JERSEY



PROJECT SITE KEY MAP

GENERAL INFORMATION

- EXISTING PROPERTY CONDITIONS TAKEN FROM A CERTAIN MAP ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY TAX LOT 6 - TAX BLOCK 3001, 3324 HIGHWAY No. 33, TOWNSHIP OF NEPTUNE MONMOUTH COUNTY, NEW JERSEY" PREPARED BY JEFFREY GRUNN, N.J.P.L.S. #43399, FOR THE FIRM LAKELAND SURVEYING, SAID MAP DATED OCTOBER 13, 2022, LAST REVISED FEBRUARY 2, 2023.
 - OWNER / APPLICANT: RYAL HOLDING LLC
3324 ROUTE 33
NEPTUNE, NJ 07753
 - ZONING STANDARDS: C-5 ZONE ~ ROUTE 33W COMMERCIAL
- | STANDARD | REQUIRED | EXISTING | PROPOSED |
|---------------------------------------|----------------|----------------|----------------|
| MINIMUM LOT AREA ~ SQ. FT. | 50,000 SQ. FT. | 65,482 SQ. FT. | 65,482 SQ. FT. |
| MAXIMUM FLOOR AREA RATIO | 0.6 | 0.09 | 0.09 |
| MINIMUM LOT WIDTH ~ FEET | 200 FEET | 247 FEET | 247 FEET |
| MINIMUM LOT FRONTAGE ~ FEET | 200 FEET | 247 FEET | 247 FEET |
| MINIMUM LOT DEPTH ~ FEET | 250 FEET | 255 FEET | 255 FEET |
| FRONT YARD SETBACK ~ FEET | 40 FEET | 65.5 FEET | 65.5 FEET |
| SIDE YARD SETBACK ~ FEET | 30 FEET | 1.2 FEET ~ V | 38.4 FEET |
| COMBINED SIDE YARD SETBACK ~ FEET | 60 FEET | 81.1 FEET | 118.3 FEET |
| REAR YARD SETBACK ~ FEET | 40 FEET | 131.2 FEET | 131.2 FEET |
| MAXIMUM BUILDING COVERAGE ~ % | 30 % | 8.9 % | 7.7 % |
| MAXIMUM BUILDING COVERAGE ~ SQ. F.T. | --- | 5,827 SQ. FT. | 5,052 SQ. FT. |
| MAXIMUM TOTAL LOT COVER ~ % | 65 % | 64.8 % | 58.3 % |
| MAXIMUM TOTAL LOT COVERAGE ~ SQ. FT. | --- | 42,400 SQ. FT. | 38,200 SQ. FT. |
| MAXIMUM BUILDING HEIGHT ~ STORIES | 2 STORIES | 1 STORY | 1 STORY |
| MAXIMUM BUILDING HEIGHT ~ FEET | 30 FEET | 20 FEET +/- | 20 FEET +/- |
| MINIMUM IMPROVABLE AREA ~ SQ. FT. | 19,500 SQ. FT. | 34,516 SQ. FT. | 34,516 SQ. FT. |
| M.I.A. MINIMUM CIRCLE DIAMETER ~ FEET | 91 FEET | 182 FEET | 182 FEET |
- NOTES:
1. EXISTING AND PROPOSED BUILDING COVERAGE INCLUDES BUILDINGS, TRAILERS, SHEDS AND FABRIC COVERED FRAMES.
2. EXISTING AND PROPOSED TOTAL LOT COVERAGE INCLUDES GRAVEL/STONE PARKING AND MATERIAL STORAGE AREAS AND BINS.
V ~ INDICATES AN EXISTING VARIANCE CONDITION.



TAX / ZONING MAP



GOOGLE MAPS AERIAL PHOTO

INDEX OF SHEETS

SHEET #	SHEET DESCRIPTION
1 OF 3	TITLE SHEET
2 OF 3	USE VARIANCE SITE PLAN
3 OF 3	DETAILS

TOWNSHIP OF NEPTUNE BOARD OF ADJUSTMENT
USE VARIANCE & SITE PLAN APPROVAL

CHAIRMAN	DATE
ADMINISTRATIVE OFFICER	DATE
ENGINEER	DATE

NO.	REVISION DESCRIPTION	DATE	DRWN	CHKD BY

TITLE SHEET
RYAL HOLDING LLC
3324 ROUTE 33
TAX BLOCK 3001, TAX LOT 6
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NEW JERSEY
(TAX MAP REFERENCE TOWNSHIP OF NEPTUNE SHEET No. 30)

Nelson Engineering Associates, Inc.

444 NEPTUNE BOULEVARD, SUITE 4
NEPTUNE, NEW JERSEY 07753
TEL: (732)-918-2180
WWW.NELSONENG.NET
CERTIFICATE OF AUTHORIZATION # 24GA28014900

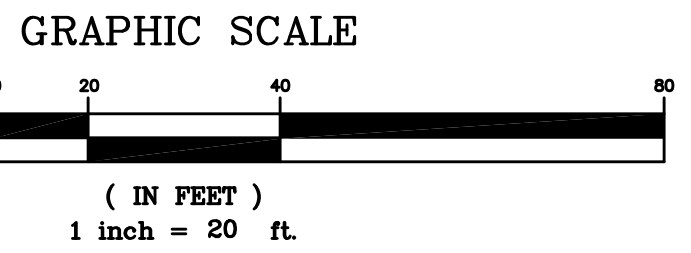
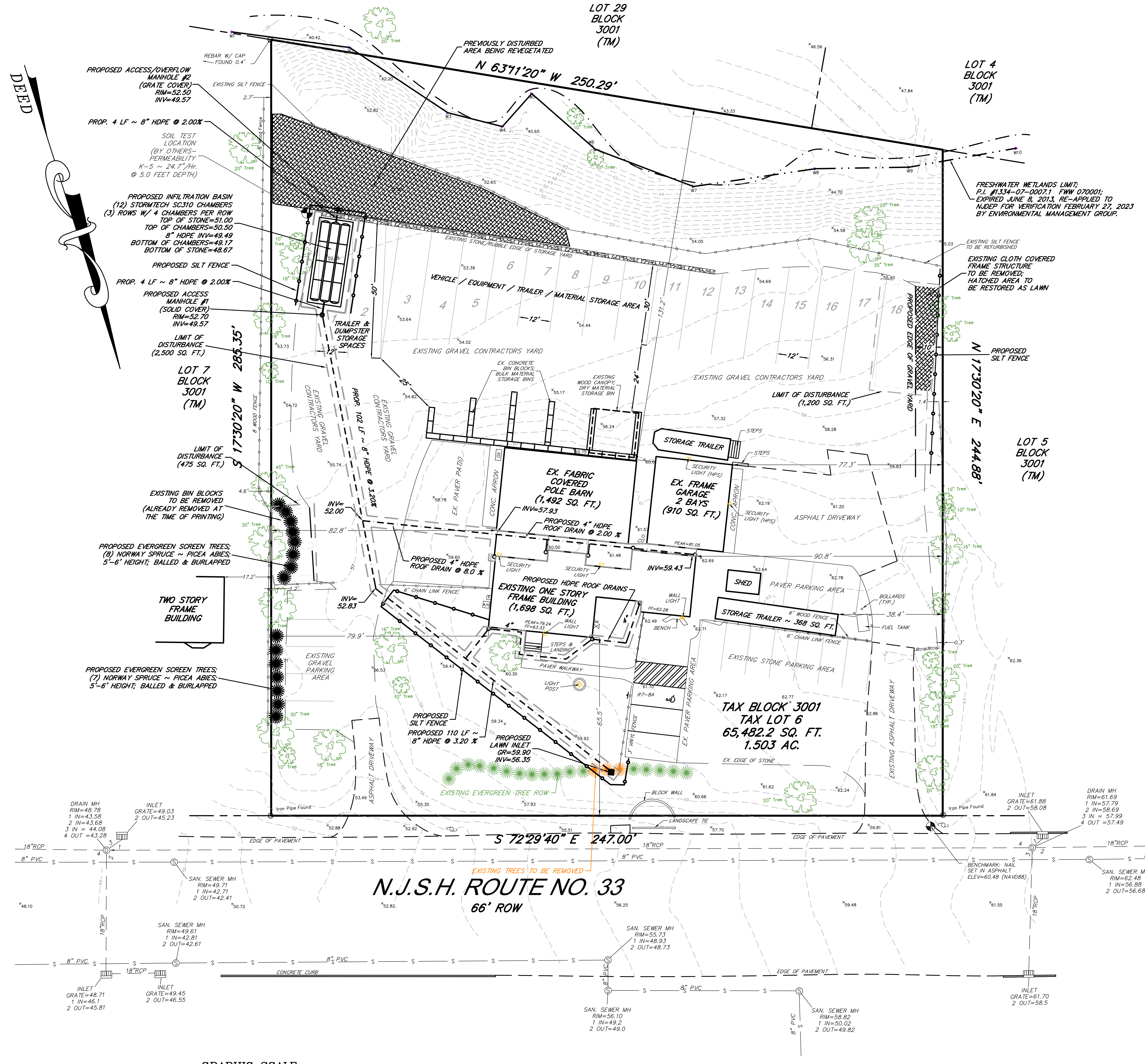
SITE ENGINEERING
TRAFFIC ENGINEERING
LANDSCAPE ARCHITECTURE
ENVIRONMENTAL STUDIES
LAND SURVEYING & MAPPING

MATTHEW R. DUBOIS, P.E.
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 48357

SCALE: 1"=20'	DRAWN BY: DHB	CHKD. BY: DHB
FILE: 230607	DATE: 10-31-2023	SHEET 1 OF 3

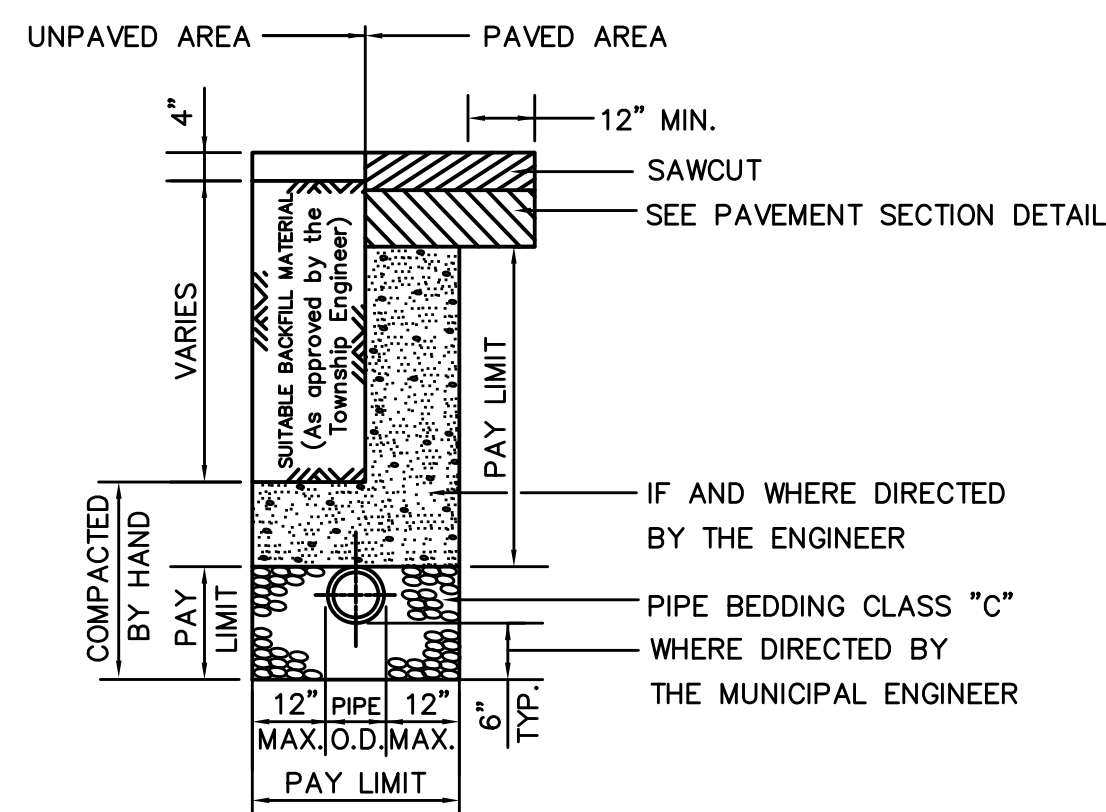
GENERAL CONSTRUCTION NOTES

- THIS DRAWING OR REPORT, AND ALL INFORMATION CONTAINED HEREIN, IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR CERTIFIED TO. ANY UNAUTHORIZED USE, DISCLOSURE, COPYING, DISTRIBUTION OR RELIANCE ON THIS OR ANY RELATED PLAN OR REPORT, IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF NELSON ENGINEERING ASSOCIATES, INC.
- THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTORS CONCERNING THE LOCATION OF ALL UTILITIES PRIOR TO BIDDING AND CONSTRUCTION. LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THIS PLAN ARE TO BE CONSIDERED APPROXIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL APPROPRIATE SAFETY DEVICES AND TRAINING TO ALL WORKERS IN ORDER TO MAINTAIN SAFE CONDITIONS ON THE PROJECT SITE. OSHA STANDARDS SHALL PREVAIL WHERE APPLICABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY EXISTING STRUCTURES, OBJECTS, ETC. THAT ARE IN THE WAY OF PROPOSED CONSTRUCTION OR INDICATED AS TO BE REMOVED.
- THE CONTRACTOR IS TO LOCATE ALL EXISTING UTILITY CONNECTIONS TO EXISTING USES (IF ANY). IF THE CONNECTIONS AND SERVICE LATERALS ARE CAPABLE OF SERVING THE PROPOSED USE, AND MEET THE SPECIFICATIONS OF THE APPROPRIATE UTILITY AUTHORITY, THEY ARE TO BE REUSED. IF NO CONNECTIONS EXIST, OR IF THEY ARE OF SUBSTANDARD OR UNUSABLE DESIGN, NEW UTILITY SERVICE LINES ARE TO BE INSTALLED AT THE LOCATIONS INDICATED. THE SIZE AND LOCATION OF THE UTILITY LINES MAY BE SUBJECT TO CHANGE BY THE APPROPRIATE UTILITY AUTHORITY.
- SANITARY SEWER MAINS, GAS MAINS, WATER MAINS, ELECTRIC LINES AND TELEPHONE LINES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE APPROPRIATE UTILITY AUTHORITY.
- WALKWAYS SHOULD SLOPE AWAY FROM BUILDINGS AT A MINIMUM PITCH OF 1/4" PER FOOT, MAXIMUM PITCH 1" PER FOOT.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS TO WATERPROOF AREAS WHERE THE EXTERIOR FINISHED GRADE IS HIGHER THAN THE FINISHED FLOOR ELEVATION. ALL BASEMENT WALLS ARE TO BE WATERPROOFED (CONSULT WITH ARCHITECT FOR SPECIFICATIONS).
- CONCRETE SIDEWALKS AND CURBING TO BE REMOVED SHALL BE SAW-CUT AT A CONSTRUCTION JOINT OR REMOVED TO THE NEAREST EXPANSION JOINT.
- IF THE CONTRACTOR ENCOUNTERS QUESTIONABLE SOIL CONDITIONS, HE SHALL IMMEDIATELY CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH ANY CONSTRUCTION IN THE AREA OF CONCERN.
- IF THE CONTRACTOR ENCOUNTERS ANY CONFLICTING UTILITY INFORMATION OR LOCATIONS, HE SHALL CONTACT THE ENGINEER IMMEDIATELY.
- PLASTIC PIPE TO BE INSTALLED AS PART OF THE STORM SEWER SYSTEM SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE MANUFACTURER'S SPECIFICATIONS (ADS, INC. OR APPROVED EQUAL). GRADES, SLOPES AND INVERTS OF PIPES ARE TO BE VERIFIED AND CONFIRMED BY THE CONTRACTOR PRIOR TO BACKFILLING.
- THE SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- NO SIGHT OBSTRUCTION HIGHER THAN 30 INCHES ABOVE GRADE, NOR LOWER THAN 10 FEET ABOVE GRADE SHALL EXIST AND/OR BE ERECTED WITHIN THE SIGHT TRIANGLE EASEMENT OTHER THAN OFFICIAL TRAFFIC CONTROL SIGNAGE.
- CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL ENGINEER'S REPORT FOR THE PREPARATION OF THE SUBGRADE FOR THE BUILDING FOUNDATION, BUILDING SLAB, PAVEMENT, ETC. IN THE EVENT THE ENGINEER'S RECOMMENDATION FOR PAVEMENT THICKNESS IS NOT AS THICK AS THE MUNICIPAL PAVEMENT STANDARD, THE MUNICIPAL PAVEMENT STANDARD SHALL BE USED.
- LEVEL LANDINGS SHALL BE PROVIDED FOR EACH ACCESS TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR THE LOCATIONS OF ALL ACCESS POINTS.
- THE MAXIMUM CROSS SLOPE FOR THE LANDINGS ALONG THE BARRIER FREE ACCESSIBLE ROUTE SHALL HAVE A SLOPE NOT STEEPER THAN 1:48 (2.08%). THE LANDINGS SHALL HAVE A CLEAR WIDTH EQUAL AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDING, AND A CLEAR LENGTH OF 60 INCHES MINIMUM.
- THE MINIMUM CLEAR WIDTH FOR WALKWAYS AND RAMPS ALONG THE BARRIER FREE ACCESSIBLE ROUTE SHALL BE 36 INCHES. WHERE HANDRAIL ARE PROVIDED, THE CLEAR WIDTH SHALL BE MEASURED BETWEEN THE HANDRAILS.
- ALL CONSTRUCTED IMPROVEMENTS SHALL BE IN STRICT COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ANY EXISTING CURBING AND/OR SIDEWALK THAT WILL BE REMOVED SHALL BE REMOVED FROM AN EXISTING EXPANSION JOINT OR SAW-CUT FOR REMOVAL AT AN EXISTING CONSTRUCTION JOINT.
- ANY PAVEMENT TO BE REMOVED SHALL BE SAW-CUT CLEAR THROUGH TO THE SUBGRADE ALONG THE PERIMETER OF THE PAVEMENT TO REMAIN.
- ALL TRAFFIC CONTROL SIGNAGE AND/OR PAVEMENT MARKINGS SHALL BE IN STRICT COMPLIANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- DURING CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED ON-SITE AND MAINTAINED TO THE SATISFACTION OF THE BOROUGH ENGINEER. ANY ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES NOT SHOWN ON THE APPROVED PLAN BUT WHICH, IN THE OPINION OF THE TOWNSHIP ENGINEER, ARE NECESSARY TO PROTECT OFFSITE PROPERTIES, SHALL BE INSTALLED AND MAINTAINED AS DIRECTED BY THE TOWNSHIP ENGINEER.
- THE APPLICANT WILL REPAIR ALL EXISTING DAMAGED OR DETERIORATED CURBS AND/OR SIDEWALKS WITHIN THE STREET R.O.W.'s IMMEDIATELY ADJACENT TO THE SITE, AS DIRECTED BY THE MUNICIPAL ENGINEER.
- ALL EXISTING BITUMINOUS PAVEMENT INDICATED TO BE REMOVED OR REPLACED SHALL BE REMOVED FROM THE SITE.
- WHEREVER CONCRETE CURBING WILL BE CONSTRUCTED WITHIN, OR ADJACENT TO, EXISTING BITUMINOUS PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAW-CUT CLEAR THROUGH TO THE SUB-GRADE, AND REMOVED, A MINIMUM DISTANCE OF 18 INCHES FROM, AND PARALLEL TO, THE PROPOSED CURB FACE.
- CONSTRUCTION DETAILS FOR ALL PROJECT IMPROVEMENTS SHALL BE FINALIZED TO THE SATISFACTION OF THE MUNICIPAL ENGINEER PRIOR TO COMMENCEMENT OF SITE IMPROVEMENT CONSTRUCTION.
- THE LOCATION AND ALIGNMENT OF ALL EXISTING UTILITIES SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- WHERE CONCRETE CURBING WILL BE CONSTRUCTED WITHIN, OR ADJACENT TO, EXISTING BITUMINOUS PAVEMENT, IT SHALL BE SAW-CUT AND REMOVED, CLEAR THROUGH TO THE SUB-GRADE, A MINIMUM DISTANCE OF 18 INCHES FROM, AND PARALLEL TO, THE PROPOSED CURB FACE. (FACE FORMING WILL ONLY BE PERMITTED WITH THE DIRECT APPROVAL OF THE MUNICIPAL ENGINEER)
- ALL EXISTING BITUMINOUS PAVEMENT TO BE REMOVED FOR ANY REASON SHALL BE SAW-CUT, CLEAR THROUGH TO THE SUBGRADE, TO PROVIDE A NEAT, LINEAR EDGE FOR SUBSEQUENT PAVEMENT REPAIR.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL ROOF DRAINS, DOWN SPOUTS AND LEADERS SHALL BE CONNECTED TO THE CLOSEST DRAINAGE INLET OR MANHOLE. CONTRACTOR SHALL COORDINATE THE CONNECTIONS WITH THE ARCHITECT'S CONSTRUCTION DOCUMENTS.
- PRIOR TO THE PLACEMENT OF TOPSOIL FOR FINAL SITE VEGETATION AND STABILIZATION, THE CONTRACTOR SHALL CHECK THE COMPACTION AND SETTLING OF FILL MATERIAL ADJACENT TO THE BUILDING. IF THE FILL MATERIAL HAS SETTLED, CREATING A SUMP OR BACK-PITCHED CONDITION NEXT TO THE BUILDING WALL, THE AFFECTED AREA SHALL BE REGRADED TO ESTABLISH THE PROPER GRADE AWAY FROM THE BUILDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, ROAD OPENING PERMITS AND UTILITY CONNECTION PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF A PRE-CONSTRUCTION MEETING WITH ALL APPROPRIATE MUNICIPAL, COUNTY, AND STATE OFFICIALS, AS WELL AS REPRESENTATIVES OF THE LOCAL UTILITIES, PRIOR TO THE START OF CONSTRUCTION. THE PROJECT DESIGN ENGINEER AND ARCHITECT SHALL ALSO BE PROVIDED NOTICE OF THE PRE-CONSTRUCTION MEETING.
- ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.
- ALL CONCRETE USED DURING CONSTRUCTION SHALL BE N.J.D.O.T. CLASS 'B', 4,500 P.S.I. AT 28 DAYS.



SURVEY REFERENCE:
 EXISTING PROPERTY CONDITIONS TAKEN FROM A CERTAIN MAP ENTITLED "TOPOGRAPHIC SURVEY OF PROPERTY TAX LOT 6 - TAX BLOCK 3001, 3324 HIGHWAY No. 33, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY" PREPARED BY JEFFREY GRUHN, N.J.L.S. #43399, FOR THE FIRM LAKELAND SURVEYING, SAID MAP DATED OCTOBER 13, 2022, LAST REVISED FEBRUARY 2, 2023.

NO.	REVISION DESCRIPTION	DATE	DRWN	CHKD BY
USE VARIANCE SITE PLAN RYAL HOLDING LLC 3324 N.J.S.H. ROUTE 33 TAX BLOCK 3001, TAX LOT 6 TOWNSHIP OF NEPTUNE MONMOUTH COUNTY, NEW JERSEY (TAX MAP REFERENCE TOWNSHIP OF NEPTUNE SHEET No. 1)				
		Nelson Engineering Associates, Inc.		
444 NEPTUNE BOULEVARD, SUITE 4 NEPTUNE, NEW JERSEY 07753 TEL: (732) 918-2180 WWW.NELSONENG.NET CERTIFICATE OF AUTHORIZATION # 24GA28014900		SITE ENGINEERING TRAFFIC ENGINEERING LANDSCAPE ARCHITECTURE ENVIRONMENTAL STUDIES LAND SURVEYING & MAPPING		
MATTHEW R. DUBOIS, P.E. PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 48357				
SCALE: 1"=20'	DRAWN BY: DHB	CHKD. BY: MRD		
FILE: 230607	DATE: 10-31-2023	SHEET 2 OF 3		

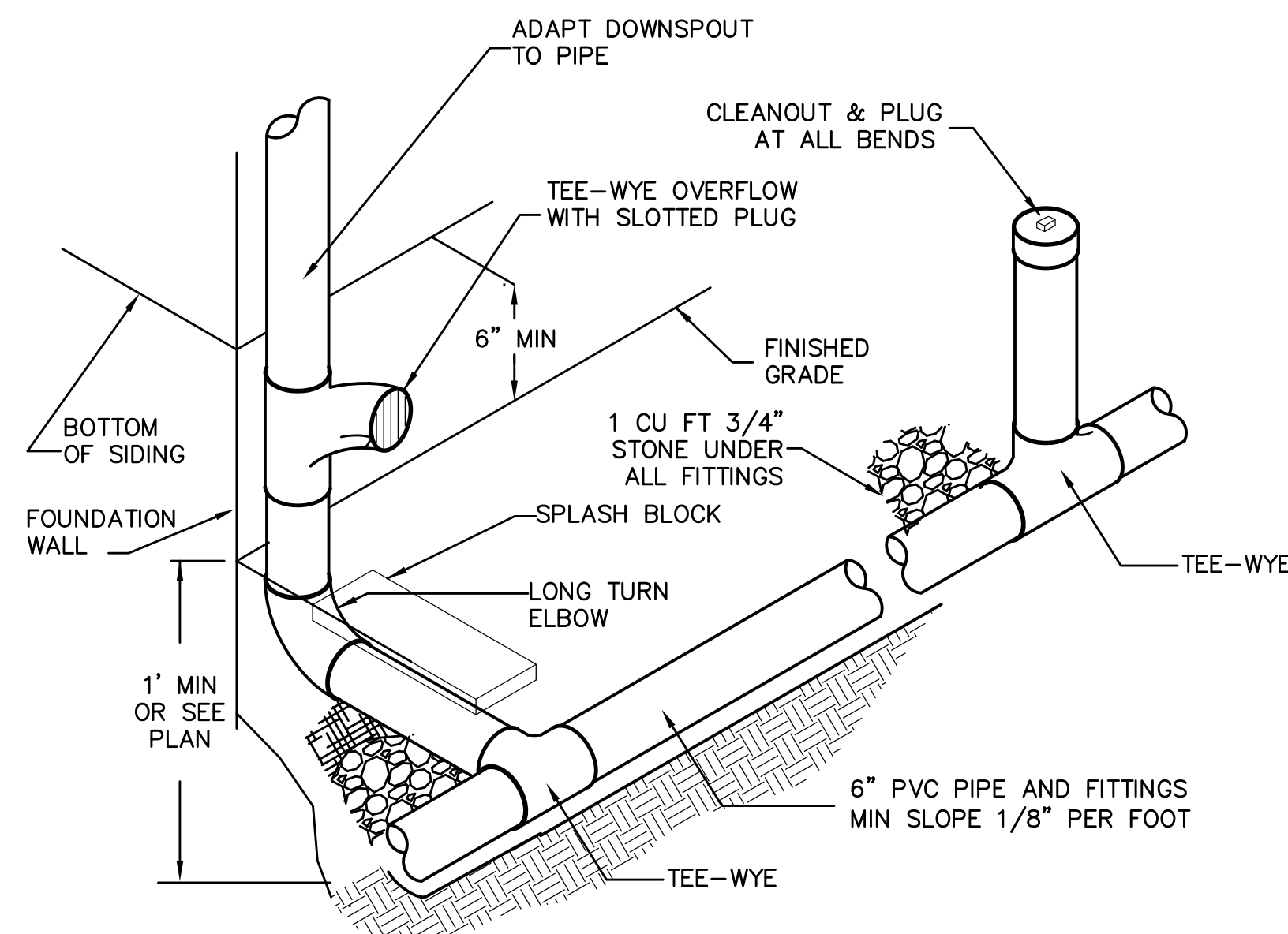


NOTES:
 IN AREAS DESIGNATED TO BE MILLED AND OVERLAYED, THE CONTRACTOR SHALL CONSTRUCT PAVEMENT TO THE LIMITS OF THE STABILIZED COURSE SHEETING TO BE PROVIDED WHERE NECESSARY.

TYPICAL TRENCH DETAIL
 N.T.S.



DOWNSPOUT FILTER DETAIL
 N.T.S.
 (ALL ROOF LEADER DOWNSPOUTS TO BE INSTALLED WITH "AQUABARREL" SLIM LINE DOWNSPOUT FILTER - OR APPROVED EQUAL; GUTTER LEAF GUARDS ARE CONSIDERED AN APPROVED EQUAL)

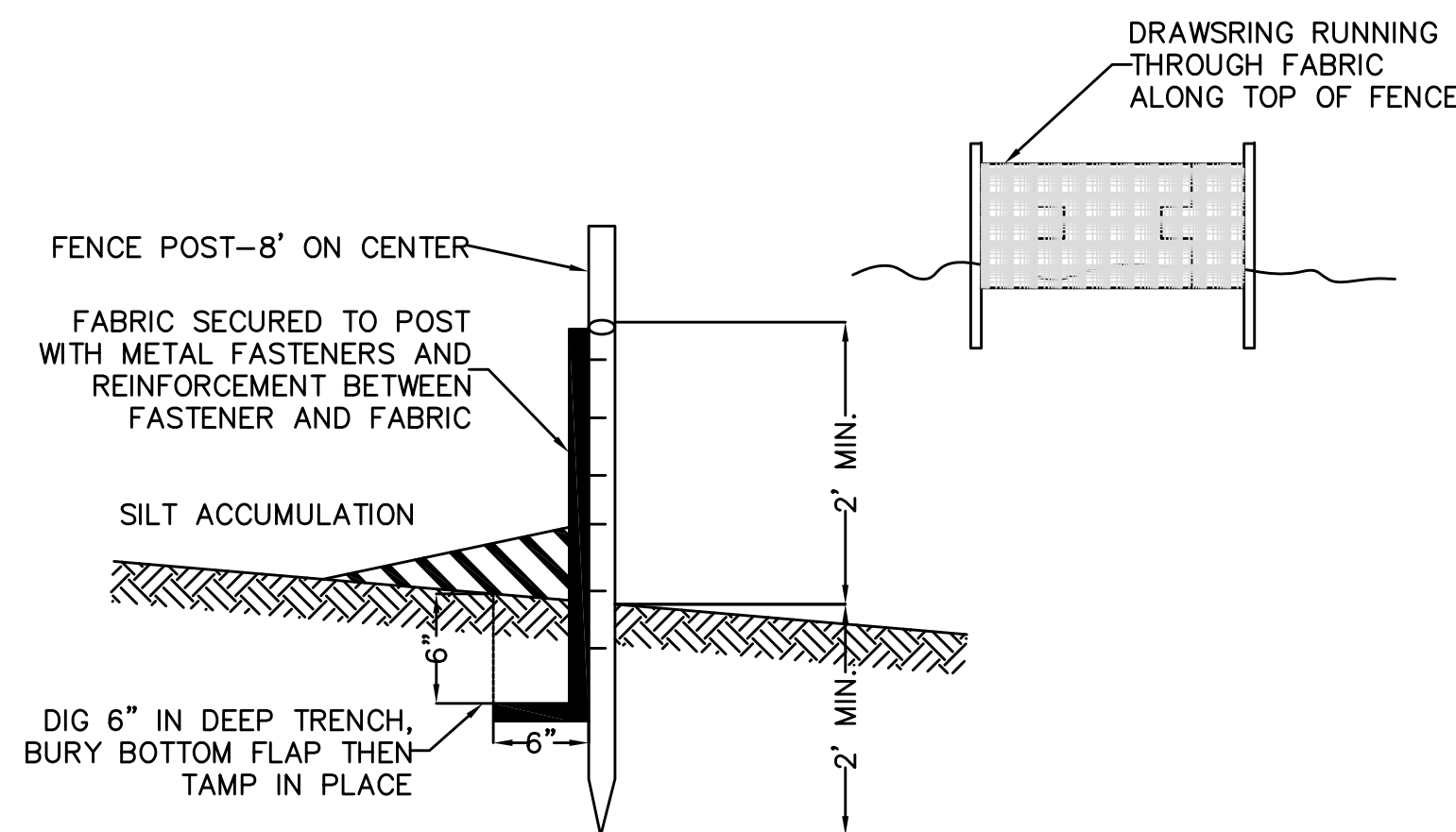
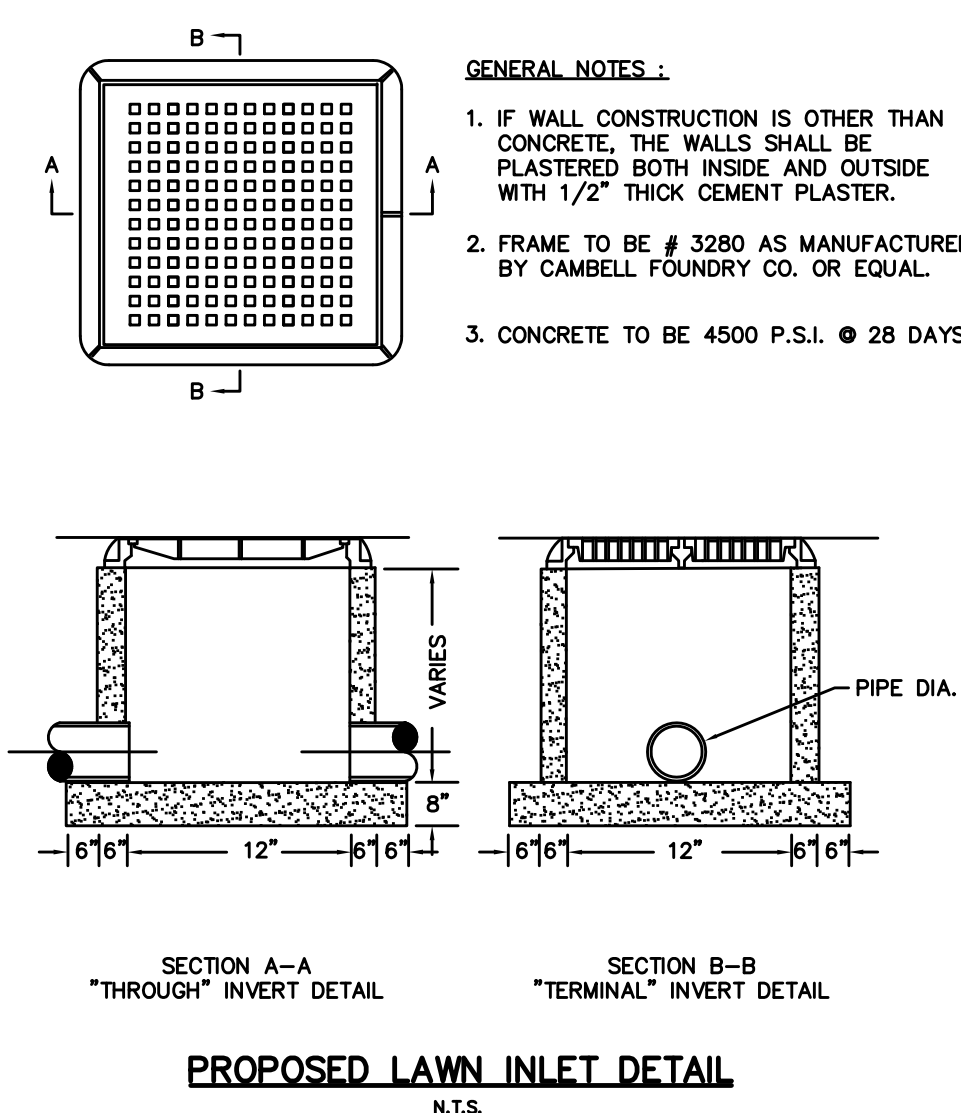
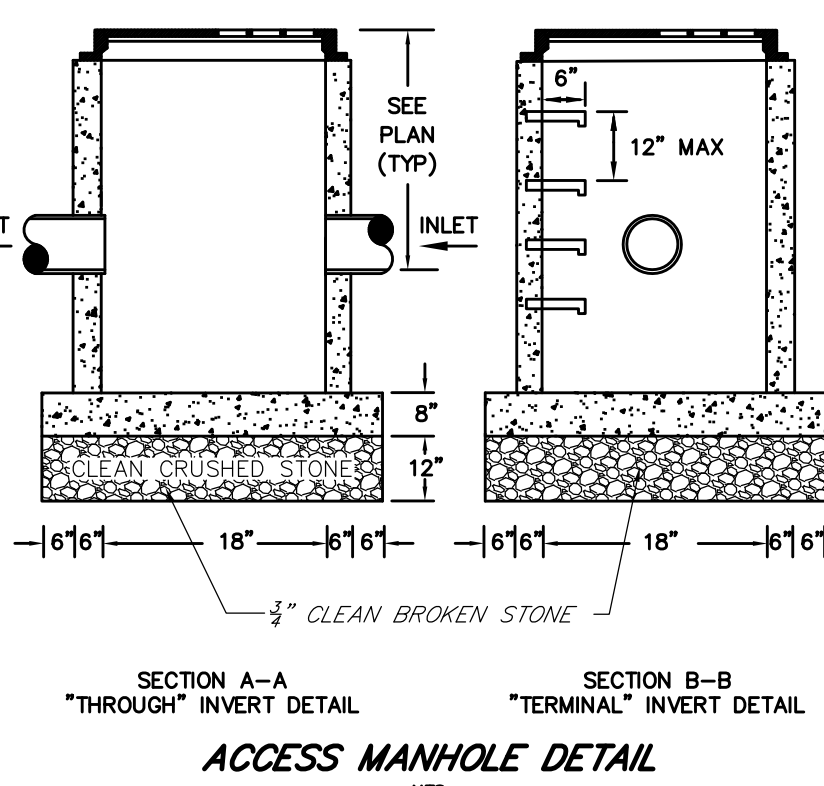
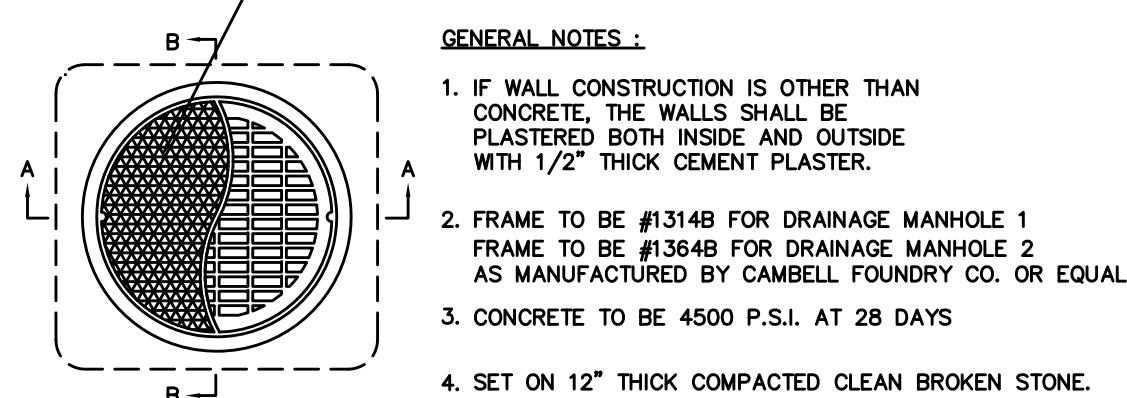


ROOF DRAIN DETAIL
 N.T.S.

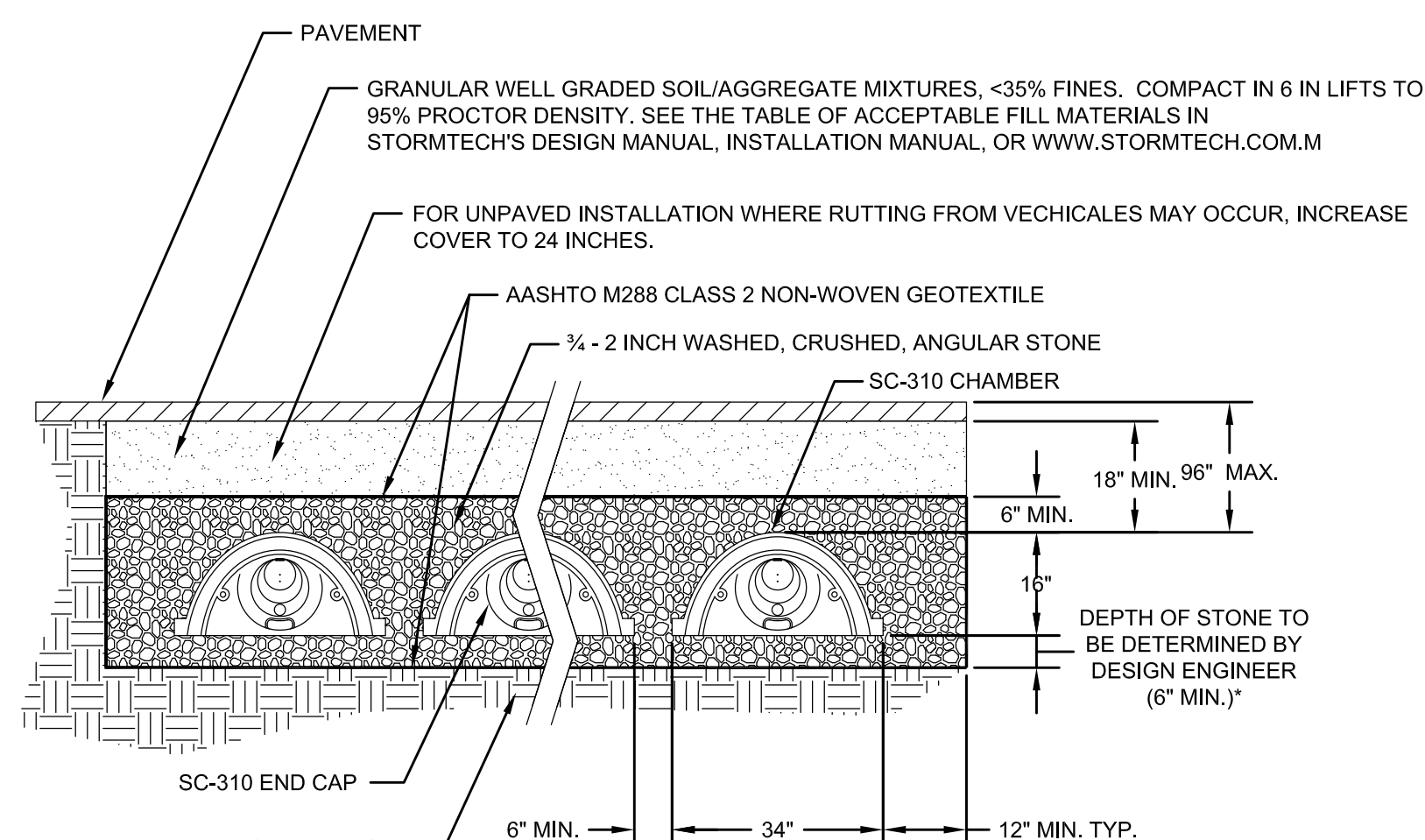
NOTES:
 STAKE ALL EVERGREEN TREES UNDER 8 FT. GUY TREES 8 FT. AND OVER AS SPECIFIED FOR DECIDUOUS TREES
 TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY
 PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES. LEADER OF TREE SHALL NEVER BE CUT
 TWO-PLY FABRIC BEARING RUBBER HOSE 1/2" MINIMUM I.D. (3 REQ.)
 DOUBLE STRAND TWISTED MALLEABLE #10 GAUGE ANNEALED STEEL WIRE (3 REQ.)
 SET 3 STAKES OR GUYS 1/2 - 2/3 UP TREE
 4" OF SHREDDED MULCH COVERING ENTIRE PLANT BED
 CONSTRUCT 5" HIGH SAUCER AROUND PERIMETER
 FINISHED GRADE
 REMOVE BURLAP FROM TOP 1/3 OF BALL
 BACKFILL MIXTURE-2 PARTS NATIVE SOIL, 1 PART TOPSOIL, 1 PART PEAT MOSS
 STAKES TO EXTEND 18" BELOW TREE PIT WHERE SOILS ARE OF HIGH CLAY CONTENT
 COMPACTED BACKFILL MIX OR UNDISTURBED SUBSOIL

EVERGREEN TREE PLANTING DETAIL
 N.T.S.

DRAINAGE MANHOLE #1 TO BE PROVIDED WITH A SOLID COVER #1314B
 DRAINAGE MANHOLE #2 TO BE PROVIDED WITH A GRATED COVER #1364B



SILT FENCE DETAIL
 N.T.S.



STORMTECH SC-310 CHAMBER SYSTEM
 TYPICAL CROSS SECTION DETAIL
 NOT TO SCALE

FOR STORMTECH
 INFORMATION CALL 1-888-892-2694

* SEE STORMTECH'S DESIGN MANUAL

Form 3b. TOM ROSS REAR OF SITE BORING RC ASSOC. #2006.55
 Tube Permeameter Test Data for Lot # Soil Log # 1
 #3324 HWY. 33 EAST NEPTUNE TWP.

- Test Number 1 Replicate (Letter) A Date Collected 12-15-06
- Material Tested: Fill Test in Native Soil-Depth 5.0' +/-
- Type of Sample: Undisturbed Disturbed Soil Replacement
- Sample Dimensions: Inside Radius of Sample Tube (R) 3.49 cm
 Length of Sample (L) in inches 4.75 in.
- Standpipe Used: NO YES - Indicate Internal Radius (r) 1.27 cm
- Height of Water Level Above Rim of Test Basin, in inches:
 At the Beginning of Each Test Interval, H₁ 6.625
 At the End of Each Test Interval, H₂ 5.625

7. Rate of Water Level Drop (Add additional lines if needed):

TIME, START OF TEST	TIME, END OF TEST	LENGTH OF TEST INTERVAL (MIN.)
00:00:00	00:00:14	0.2333
1:00	1:15	0.25
2:00	2:15	
3:00	3:15	
TEST=4:00	4:15	

8. Calculation of Permeability:
 $K (in/hr) = 60 \frac{min}{hr} \times r^2/R^2 \times L (in)/T (min) \times \ln(H_1/H_2)$
 $= 60 \frac{min}{hr} \times 1.6129 / 12.1801 \times 4.75 / 0.25$
 $\times \ln(6.625 / 5.625) = 24.7 \text{ in/hr } (K=5)$
 $60 \times 0.1324 \times 19.00 \times 0.1636 = 24.69$

9. Defects in the Sample (Check appropriate items):
 CRACKS WORM CHANNELS ROOT CHANNELS
 SOIL/TUBE CONTACT LARGE GRAVEL LARGE ROOTS
 OTHER - (specify) _____

10. I hereby certify that the information furnished on Form 3b of this application is true and accurate. I am aware that falsification of data is a violation of the Water Pollution Control Act (N.J.S.A. 58:10A-1 et seq.) and is subject to penalties as prescribed in N.J.S.A. 7:14-3.

SIGNATURE OF SOIL EVALUATOR *[Signature]* DATE 12-20-06
 SIGNATURE OF PROFESSIONAL ENGINEER _____
 NEW JERSEY LICENSE # _____

NO.	REVISION DESCRIPTION	DATE	DRWN	CHKD BY
-----	----------------------	------	------	---------

DETAILS
 RYAL HOLDING LLC
 3324 N.J.S.H. ROUTE 33
 TAX LOT 6
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY, NEW JERSEY
 (TAX MAP REFERENCE TOWNSHIP OF NEPTUNE SHEET No. ...)

Nelson Engineering Associates, Inc.

444 NEPTUNE BOULEVARD, SUITE 4
 NEPTUNE, NEW JERSEY 07753
 TEL: (732)-918-2180
 WWW.NELSONENG.NET
 CERTIFICATE OF AUTHORIZATION # 24GA28014900

SITE ENGINEERING
 TRAFFIC ENGINEERING
 LANDSCAPE ARCHITECTURE
 ENVIRONMENTAL STUDIES
 LAND SURVEYING & MAPPING

MATTHEW R. DUBOIS, P.E.
 PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 48357

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FILE: 230607	DATE: 10-31-2023	SHEET 3 OF 3