

BLOCK 3903 PROPOSED LOT 12.01 ZONING TABLE 3501 STATE ROUTE 66 REDEVELOPMENT ZONING DISTRICT: BLOCK No. 3903, LOT No. 12 & 13 REDEVELOPMENT PLAN (SECTION B)				
Item	Required / Allowable	Proposed	Regulation Reference	Condition
Land Use:				
Principal Use	General Warehousing	General Warehousing	Redevelopment Plan Section VIII	C
Area, Bulk & Yard Requirements:				
Min. Lot Area (AC)	2.5 AC	37.59+ AC	Redevelopment Plan Section VIII	C
Max. Floor Area Ratio	1.0	0.31	Redevelopment Plan Section VIII	C
Min. Lot Width (FT)	500 FT	1,057.2 FT	Redevelopment Plan Section VIII	C
Min. Lot Frontage (FT)	500 FT	1,057.5 FT	Redevelopment Plan Section VIII	C
Min. Lot Depth (FT)	600 FT	1,122.2 FT	Redevelopment Plan Section VIII	C
Min. Front Yard Building Setback (FT)	30 FT	110 FT	Redevelopment Plan Section VIII	C
Min. Side Yard Building Setback (FT)	50 FT	50.6 FT	Redevelopment Plan Section VIII	C
Min. Combined Side Yard Building Setback (FT)	50 FT	376.5 FT	Redevelopment Plan Section VIII	C
Min. Rear Yard Building Setback (FT)	40 FT	1,022.2 FT	Redevelopment Plan Section VIII	C
Max. Building Coverage (%)	30%	15.3%	Redevelopment Plan Section VIII	C
Max. Lot Coverage (%)	65%	29.3%	Redevelopment Plan Section VIII	C
Max. Number of Stories	3	1	Redevelopment Plan Section VIII	C
Max. Building Height (FT)	50 FT		Redevelopment Plan Section VIII	C
Driveway, Parking & Loading Area Regulations				
Min. / Max. Nonresidential Driveway Width (FT)	20 FT / 25 FT	N/A	Redevelopment Plan Section VIII	N/A
Min. / Max. Warehouse Driveway Width (FT)	35 FT / 40 FT	30 FT / 70 FT	Redevelopment Plan Section VIII	V
Access Permitted Onto Green Grove Road	No	No	Redevelopment Plan Section VIII	C
Nonresidential Driveway Setback from Property Lines (FT)	5 FT	N/A	412.06.A	N/A
Min. Distance of Driveway from Intersection of Two Streets (FT)	50 FT	N/A	412.06.B	N/A
Driveway Shall Serve Use Other Than the Permitted Use on the Lot Upon Which the Driveway is Located	No	No	412.06.D	C
Max. Driveway Grade (%)	6%	6%	505.8.5	C
Barrier-Free Walkway Shall be Provided to the Building from the Parking Lot and Township Sidewalk	Yes	Yes	412.06.E	C
Separate Entrance and Exit Provided for Nonresidential Use Parking Area with More Than 25 Spaces	Yes	No	514.8.1	W
Min. Number of Parking Spaces ¹	142	144	412.17.D	C
Provided Parking for Nonresidential Use Allowed to Exceed Minimum Requirements by More Than 20%	No	No	412.17.F	C
Min. Parking Space Size (FT x FT)	9 FT x 18 FT	9 FT x 18 FT	412.17.B	C
Min. Drive Aisle Width (FT)	24 FT	24 FT	514.8.9	C
Min. Front Yard Parking Setback ² (FT)	30 FT	121.2 FT	412.18	C
Min. Side & Rear Yard Parking Setback (FT)	10 FT	159.8 FT	509.1.1	C
Min. Parking and Driveway Setback from Nonresidential Building (FT)	10 FT	10 FT	514.8.3	C
Building Oriented to Front Toward a Parking Lot	No	No	521.8.2	C
Min. Number of Loading Berths ³	16	32	412.12.A	C
Min. Loading Space Size (FT x FT)	15 FT x 60 FT	13.6 FT x 60 FT	412.12.B	V
Min. Trailer Parking Space Size (FT x FT)	12 FT x 60 FT	12 FT x 60 FT	514.8.8(i)	C
Landscape & Buffering Regulations				
Min. Buffer Zone for Loading Areas Adjacent to Residential Zones (FT) ⁴	70 FT	N/A	Redevelopment Plan Section VIII	N/A
Min. Parking Lot Buffer Area Width (FT)	10 FT	8.3 FT	503.8.1	W
Min. Loading Area Buffer Area Width (FT)	10 FT	14.8 FT	503.8.1	C
Min. Utility Equipment Buffer Area Width (FT)	3 FT	3 FT	503.8.1	C
Parking Lot Buffer in Side and Rear Yards	6 FT Evergreens @ 3 FT O.C.	6 FT Evergreens @ 3 FT O.C.	509.1.1(a)	C
Parking Lot Buffer in Front Yard	Evergreen & Deciduous Hedge with Shade Trees @ 30 FT O.C.	Evergreen & Deciduous Hedge with Shade Trees @ 30 FT O.C.	509.1.1(b)	C
Min. % Landscaping of Interior Parking Lot Area	5%	11.1%	509.1.4	C
Min. Number of Parking Lot Shade Trees	1 per 5 Parking Spaces	1 per 5 Parking Spaces	509.1.4	C
Diamond-Shaped Tree Islands Utilized Between Head-to-Head Parking Bays	Yes	No	509.1.4(a)	W
Min. Size of Diamond-Shaped Tree Islands (SF)	36 SF	0 SF	509.1.4(a)	W
Min. Width of Landscape Strip at End of Parking Row (FT)	4 FT	2 FT	509.1.4(b)	W
Max. Number of Parking Spaces Without Landscape Island	8	8	Redevelopment Plan Section VIII	C
Min. Landscape Island Width (FT)	7 FT	9 FT	509.1.4(c)	C
Min. Sidewalk Width Adjacent to Landscape Island Strips	4 FT	N/A	509.1.4(d)	N/A
Interior Parking Landscape Islands Not Planted with Trees to Have Low-Growing Evergreen Shrubs	Yes	Yes	509.1.4(f)	C
Benches and Trash Receptacles Located Adjacent to Proposed Use	Yes	Yes	509.M	C
Min. Trash Enclosure Buffer Width (FT)	10 FT	0 FT	515.A.1	W
Min. Trash Enclosure Wall Height (FT)	6 FT	6 FT	515.A.1	C
Min. Trash Enclosure Evergreen Screen Height (FT)	4 FT	4 FT	515.A.1	C
Trash Enclosure Permitted with Building Setbacks	No	No	515.A.2	C
Street Tree Setback from Curbline (FT)	15 FT	15 FT	523.A	C
Min. Street Tree Spacing for Large Street Trees (FT)	35 FT	35 FT	523.B	C
Min. Street Tree Spacing for Medium Street Trees (FT)	30 FT	N/A	523.B	N/A
Sidewalk Regulations				
Min. Sidewalk Width for Warehouse Uses (FT)	5 FT	5 FT	Redevelopment Plan Section VIII	C
Pedestrian Access Via Crosswalk at Princeton Avenue Intersection	Yes	Yes	Redevelopment Plan Section VIII	C
Sidewalks Required on Both Sides of Roads for Nonresidential Development	Yes	Yes	519.8.1	C
Private Walkway Access to Public Sidewalk in the Right-of-Way	Yes	Yes	519.8.2	C
Public Access Easement for Sidewalk Not Within the Right-of-Way	Yes	Yes	519.8.3	C
Max. Setback of Street Furniture from the Curbline (FT)	4 FT	10.0 FT	519.8.3(a)	W
Min. Clear Passageway in Front of Street Furniture (FT)	7.5 FT	6 FT	519.8.3(a)	W
Provide Internal Sidewalk Links Between Development and Streets	Yes	Yes	519.8.3(b)	C
Provide Access Easements for Pedestrian Links	Yes	Yes	519.8.3(b)	C
Sidewalks Less Than 6 FT in Width to Provide 6 FT Width for 6 FT Length Every 200 FT for Handicap Passage	Yes	Yes	519.8.6	C
Min. Number of Bicycle Parking Spaces	10% of Total Required Parking up to 100 Spaces + 2% Thereafter (i)	15	519.C	C
Fence, Retaining Wall & Slope Regulations				
Max. % Disturbance of Total Lot Area Consisting of 15%-25% Slopes	30%	39.8%	421.D.1.(a)	V
Creation of Critical Slopes (>25%) During Construction Permitted	No	Yes	421.D.1.(b)	V
Max. Area of Disturbance of Critical Slope Areas (>25% Slopes)	0 SF	13,984 SF	421.D.2	V
Final Grading Results in Net Increase of Total Steep Slope Areas on the Lot	No	No	421.E.2.(a)	C
Max. Fence Height Within 15 FT of R.O.W. (FT)	4 FT	4 FT	412.07.B.1.(b)(i)	C
Max. Fence Height More Than 15 FT from R.O.W. and in Side or Rear Yards (FT)	6 FT	4 FT	412.07.B.1.(b)(j) / 412.07.B.2.(b)	C
Chain Link Fence Permitted / Located in Front Yard	No	Yes	412.07.B.2.(c)	V
Max. Retaining Wall Height (FT)	8 FT	10.0 FT	421.G.1	C
Max. Retaining Wall Height in Front Yard Setback (FT)	4 FT	7.6 FT	421.G.1	V
Max. Combined Retaining Wall and Safety Fence Height (FT)	12 FT	14.0 FT	421.G.4	V
Min. Retaining Wall Setback from Property Lines (FT)	Height of Retaining Wall	0 FT	421.H.1	V

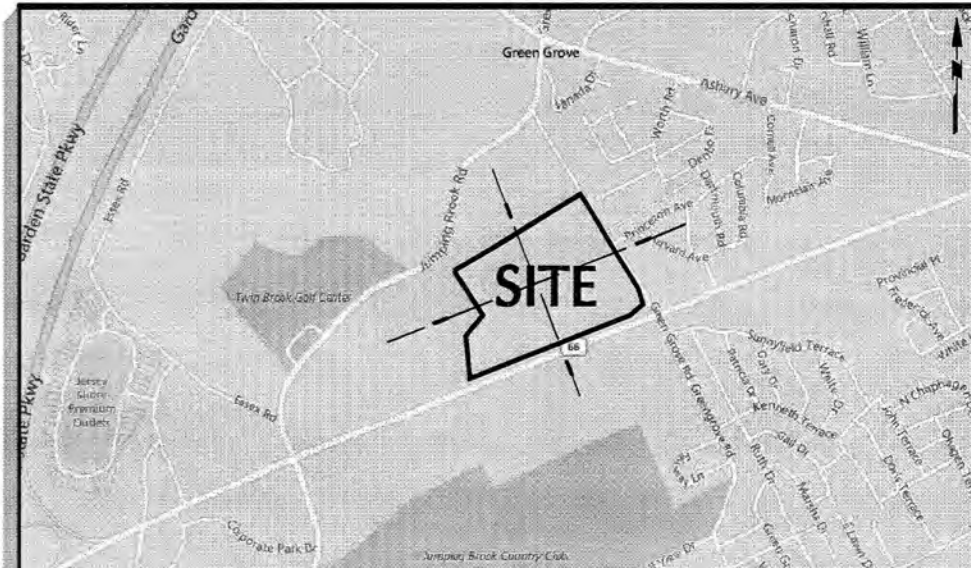
BLOCK 3903 PROPOSED LOT 12.01 ZONING TABLE 3501 STATE ROUTE 66 REDEVELOPMENT ZONING DISTRICT: BLOCK No. 3903, LOT No. 12 & 13 REDEVELOPMENT PLAN (SECTION B)				
Item	Required / Allowable	Proposed	Regulation Reference	Condition
Lighting & Signage Regulations				
Max. Light Fixture Mounting Height (FT)	14 FT	25 FT	412.11	V
Decorative Lamppost Height (FT)	10 FT to 12 FT	12 FT	521.B.4	C
Decorative Lamppost Spacing Along Street Lines (FT)	40 FT to 60 FT	60 FT	521.B.4	C
Decorative Lamppost Spacing Along Interior Walkways (FT)	30 FT to 40 FT	N/A	521.B.4	N/A
Signage	See Note 11	See Note 11	Redevelopment Plan Section VII	C
Abbreviations:				
V - Variance	W - Waiver	C - Compliance	NC - Existing Nonconformity	N/A - Not Applicable
Notes:				
1. Zoning regulations and design standards referenced from Block No. 3903, Lot No. 12 & 13 Redevelopment Plan, adopted December 2021. The redevelopment plan splits the subject project site into Section A (the site frontage along Route 66) and Section B (the remaining portion of the site). Per the Redevelopment Plan, the bulk requirements for Section A shall be governed by the existing requirements set forth with C-1 Planned Commercial Development Zone District and the H-S Hospital Support Zone Overlay, while the bulk requirements for Section B shall be governed by the requirements set forth within the Redevelopment Plan. Please note that portions of the development design have been governed by the process associated with the adoption of a Redevelopment Agreement for the project site.				
2. A 70 foot buffering zone, which may include detention basins, sound berms, or landscaping, is required when loading areas are directly adjacent to residential zones.				
3. For office uses, a minimum of 1 parking space per 300 square feet of gross floor area shall be provided. For warehouse uses, a minimum of 1 parking space per 2,500 square feet of gross floor area shall be provided. The proposed development includes approximately 14,000 square feet of office space, which requires 47 parking spaces, and includes approximately 237,000 square feet of warehouse space, which requires 95 parking spaces. The total number of required parking spaces is 142.				
4. No parking shall be located in a required front yard per Section 514.8.2.				
5. For light industrial and warehouse uses with a total floor area greater than 40,000 square feet, the number of loading berths that shall be provided is 5 plus 1 for each additional 20,000 square feet.				
6. Chain link fences are prohibited in front yards in all zone districts per 412.07.B.1.(c).				
7. The project exceeds the criteria for maximum disturbance areas listed under Section 421.D.2. for disturbance of critical slope areas (slopes of 25 percent or greater). (a) The total soil disturbance in the critical slope area of the lot is no greater than one (1) cubic yard. (b) The total area of removal or disturbance of vegetation in the critical slope area of the lot is no greater than twenty-five (25) square feet. (c) The increase in impervious ground cover in the critical slope area of the lot is no greater than twenty-five (25) square feet. (d) The construction does not include the removal of any tree, having a diameter at point of measurement greater than eighteen (18) inches, and, (e) The applicant must demonstrate that the proposed slope disturbance is essential to a reasonable use of property.				
8. The maximum size of wall mounted signs for single-tenant structures is 48 square feet, or 1.2 square feet for each linear foot of wall face that the sign is mounted on, whichever is less, per Section 416.07.B.1.(a).				
9. Businesses that have a side or rear building facade front on a parking lot or secondary street frontage may have a secondary wall-mounted sign not to exceed 50% of the area of the primary building sign, per Section 416.07.B.3.(a). This provision shall not apply where a parking lot is located between a building and a public street.				
10. Building height is defined as the vertical distance from finished grade to the top of the highest roof beams on a flat roof, per the definition provided in Section 201. As the finished grade around the perimeter of the proposed warehouse building varies, an average has been calculated, with finished grade measurements taken approximately every 50 feet. Based on these parameters, the average finished grade was calculated to be approximately EL. 100.04. The finished floor elevation of the proposed warehouse building is EL. 102.00, representing a vertical distance of 1.96 feet compared to average finished grade. The vertical distance from the finished floor elevation to the highest roof beam on the flat roof is 4.33 feet. Therefore, the building height has been calculated to be 45.3 feet.				
11. Redevelopment Plan Signage section states "Permitted Signage will be on a per use basis, at the discretion of the Township Redevelopment Committee".				

BLOCK 3903 PROPOSED LOT 13.01 ZONING TABLE 3501 STATE ROUTE 66 REDEVELOPMENT ZONING DISTRICT: BLOCK No. 3903, LOT No. 12 & 13 REDEVELOPMENT PLAN (SECTION A)				
Item	Required / Allowable	Proposed	Regulation Reference	Condition
Land Use:				
Principal Use	Retail Stores	Retail Stores	404.04.B	C
Accessory Use	Parking for Principal Use	Parking for Principal Use	404.04.D	C
Area, Bulk & Yard Requirements:				
Min. Lot Area (AC)	2.5 AC	7.97 AC	404.04.E	C
Max. Floor Area Ratio	0.8	0.10	Ordinance No. 16-20 ⁴	C
Min. Lot Width (FT)	500 FT	1,548.7 FT	404.04.C	C
Min. Lot Frontage (FT)	500 FT	1,562.6 FT	404.04.C	C
Min. Lot Depth (FT)	600 FT	219 FT	404.04.E	V
Min. Front Yard Building Setback (FT)	50 FT	119 FT	404.04.C	C
Min. Side Yard Building Setback (FT)	3 FT	146.7 FT	404.04.E	C
Min. Combined Side Yard Building Setback (FT)	60 FT	1,222.6 FT	404.04.E	C
Min. Rear Yard Building Setback (FT)	40 FT	40 FT	404.04.E	C
Max. Building Coverage (%)	30%	4.3%	404.04.E	C
Max. Lot Coverage (%)	65%	26.4%	404.04.E	C
Max. Number of Stories	2	1	404.04.E	C
Max. Building Height (FT)	40 FT	26.3 FT	404.04.E	C
Min. Improvable Lot Area (SF)	84,900 SF	91,555 SF	404.04.E	C
Min. M.I.A. Diameter of Circle (SF)	189 FT	159 FT	404.04.E	V
Driveway, Parking & Loading Area Regulations				
Min. / Max. Nonresidential Driveway Width (FT)	20 FT / 24 FT	24 FT / 36.3 FT	505.8.4	W
Min. Nonresidential Driveway Setback from Property Lines (FT)	5 FT	0 FT	412.06.A	V
Min. Distance of Driveway from Intersection of Two Streets (FT)	50 FT	242 FT	412.06.B	V
Driveway Shall Serve Use Other Than the Permitted Use on the Lot Upon Which the Driveway is Located	N/A	Yes	412.06.D	V
Max. Driveway Grade (%)	6%	7.0%	505.8.5	W
Barrier-Free Walkway Shall be Provided to the Building from the Parking Lot and Township Sidewalk	Yes	Yes	412.06.E	C
Separate Entrance and Exit Provided for Nonresidential Use Parking Area with More Than 25 Spaces	Yes	No	514.8.1	W
Min. Number of Parking Spaces	60	100	412.17.D ¹	C
Provided Parking for Nonresidential Use Allowed to Exceed Minimum Requirements by More Than 20%	No	Yes	412.17.F	V
Min. Parking Space Size (FT x FT)	9 FT x 18 FT	9 FT x 18 FT	412.17.B	C
Min. Drive Aisle Width (FT)	24 FT	24 FT	514.8.9	C
Min. Front Yard Parking Setback ² (FT)	50 FT	50 FT	412.18	C
Min. Side & Rear Yard Parking Setback (FT)	10 FT	41 FT	509.1.1	C
Min. Parking and Driveway Setback from Nonresidential Building (FT)	10 FT	9 FT	514.8.3	W
Building Oriented to Front Toward a Parking Lot	No	Yes	521.8.2	W
Min. Number of Loading Berths	1	1	412.12.A	C
Min. Loading Space Size (FT x FT)	15 FT x 45 FT	16 FT x 190 FT	412.12.B	C
Landscape & Buffering Regulations				
Min. Parking Lot Buffer Area Width (FT)	10 FT	6.5 FT	503.8.1	W
Min. Loading Area Buffer Area Width (FT)	10 FT	0 FT	503.8.1	W
Min. Utility Equipment Buffer Area Width (FT)	3 FT	3.5 FT	503.8.1	C
Parking Lot Buffer in Side and Rear Yards	6 FT Evergreens @ 3 FT O.C.	6 FT Evergreens @ 3 FT O.C.	509.1.1(a)	C
Parking Lot Buffer in Front Yard	Evergreen & Deciduous Hedge with Shade Trees @ 30 FT O.C.	Evergreen & Deciduous Hedge with Shade Trees @ 30 FT O.C.	509.1.1(b)	C
Min. % Landscaping of Interior Parking Lot Area	5%	15.0%	509.1.4	C
Min. Number of Parking Lot Shade Trees	1 per 5 Parking Spaces	1 per 5 Parking Spaces	509.1.4	C
Diamond-Shaped Tree Islands Utilized Between Head-to-Head Parking Bays	Yes	N/A	509.1.4(a)	N/A
Min. Size of Diamond-Shaped Tree Islands (SF)	36 SF	N/A	509.1.4(a)	N/A
Min. Width of Landscape Strip at End of Parking Row (FT)	4 FT	4 FT	509.1.4(b)	C
Max. Number of Parking Spaces Without Landscape Island	8	8	509.1.4(c)	C
Min. Landscape Island Width (FT)	7 FT	9 FT	509.1.4(c)	C
Min. Sidewalk Width Adjacent to Landscape Island Strips	4 FT	N/A	509.1.4(d)	N/A
Interior Parking Landscape Islands Not Planted with Trees to Have Low-Growing Evergreen Shrubs	Yes	Yes	509.1.4(f)	C
Benches and Trash Receptacles Located Adjacent to Proposed Use	Yes	Yes	509.M	C
Min. Trash Enclosure Buffer Width (FT)	4 FT	4 FT	515.A.1	C
Min. Trash Enclosure Wall Height (FT)	6 FT	6 FT	515.A.1	C
Min. Trash Enclosure Evergreen Screen Height (FT)	4 FT	4 FT	515.A.1	C
Trash Enclosure Permitted within Building Setbacks	No	No	515.A.2	C
Street Tree Setback from Curbline (FT)	15 FT	N/A	523.A	N/A
Min. Street Tree Spacing for Large Street Trees (FT)	35 FT	N/A	523.B	N/A
Min. Street Tree Spacing for Medium Street Trees (FT)	30 FT	N/A	523.B	N/A

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Item	Required / Allowable	Proposed	Regulation Reference	Condition
Sidewalk Regulations				
Sidewalks Required on Both Sides of Roads for Nonresidential Development	Yes	No	519.B.1	W
Private Walkway Access to Public Sidewalk in the Right-of-Way	Yes	Yes	519.B.2	C
Public Access Easement for Sidewalk Not Within the Right-of-Way	Yes	Yes	519.B.3	C
Max. Setback of Street Furniture from the Curbline (FT)	4 FT	11.3 FT	519.B.3.(a)	W
Min. Clear Passageway in Front of Street Furniture (FT)	7.5 FT	6 FT	519.B.3.(a)	W
Provide Internal Sidewalk Links Between Development and Streets	Yes	Yes	519.B.3.(b)	C
Provide Access Easements for Pedestrian Links	Yes	Yes	519.B.3.(b)	C
Minimum Sidewalk Widths for Retail Development:				
Along Non-Residential Streets Separated from the Curb by at Least 5 Feet	6 FT	N/A	519.B.7.(a)	N/A
Along Non-Residential Streets Adjacent to Curb	8 FT	N/A	519.B.7.(b)	N/A
Between Main Building Entrance and Front Yard	10 FT	9 FT	519.B.7.(c)	W
Where Vehicles Overhang the Sidewalk	6 FT	6 FT	519.B.7.(d)	C
Within Parking Areas	4 FT	5 FT	519.B.7.(e)	C
Between Buildings	6 FT	N/A	519.B.7.(f)	N/A
Sidewalks Less Than 6 FT in Width to Provide 6 FT Width for 6 FT Length Every 200 FT for Handicap Passage	Yes	N/A	519.B.6	C
Min. Number of Bicycle Parking Spaces	10% of Total Required Parking up to 100 Spaces + 2% Thereafter (i)	10	519.C	C
Fence, Retaining Wall & Slope Regulations				
Max. % Disturbance of Total Lot Area Consisting of 15%-25% Slopes	30%	64.4%	421.D.1.(a)	V
Creation of Critical Slopes (>25%) During Construction Permitted	No	Yes	421.D.1.(b)	V
Max. Area of Disturbance of Critical Slope Areas (>25% Slopes)	0 SF	12,533 SF	421.D.2	V
Final Grading Results in Net Increase of Total Steep Slope Areas on the Lot	No	Yes	421.E.2.(a)	C
Max. Fence Height Within 15 FT of R.O.W. (FT)	4 FT	N/A	412.07.B.1.(b)(i)	N/A
Max. Fence Height More Than 15 FT from R.O.W. and in Side or Rear Yards (FT)	6 FT	4 FT	412.07.B.1.(b)(j) / 412.07.B.2.(b)	C

LEGEND OF SYMBOLS & ABBREVIATIONS

HYDRANT	BOLLARD	D	STORM DRAIN
STREET LIGHT	PEDESTRIAN WALK SIGNAL	S	SANITARY LINE
AREA LIGHT	DOOR	COMB	COMBINED UTILITY LINE
SIGNAL POLE	OVERHEAD DOOR	UNK	UNKNOWN UTILITY LINE
POLE	PARKING METER	G	GAS LINE
GLY WIRE	ELECTRIC BOX	W	WATER LINE
ANCHOR POLE	SOIL BORING	E	ELECTRIC LINE
MANHOLE	MONITORING WELL	T	TELEPHONE LINE
MANHOLE (DRAINAGE)	TEST PIT	C	CABLE TV LINE
MANHOLE (SANITARY SEWER)	BENCHMARK	ST	STEAM LINE
MANHOLE (ELECTRIC)	ROOF DRAIN	FM	FORCE MAIN
MANHOLE (WATER)	SPOT ELEVATION	FO	FIBER OPTIC
MANHOLE (NATURAL GAS)	CONCRETE CURB	(L)	REFERENCED UTILITY LINE
MANHOLE (TELEPHONE)	DETECTABLE PAD		(TYPE AS NOTED) BASED ON RECORD MAPPING
MANHOLE (FORCE MAIN)	BROKEN WHITE STRIPE		OVERHEAD WIRE
MANHOLE (STEAM)	SINGLE YELLOW STRIPE		GUIDE RAIL (TYPE AS NOTED)
MANHOLE (UNKNOWN UTILITY)	DOUBLE YELLOW STRIPE		CHAIN LINK FENCE
WATER VALVE	DROP CURB		WOOD/STOCKADE FENCE
GAS VALVE	REINFORCED CONCRETE PIPE		WIRE FENCE
SHRUB	DUCTILE IRON PIPE		IRON FENCE
CATCH BASIN	CORRUGATED METAL PIPE		TREE LINE
CLEAN OUT	NO VISIBLE PIPE		EASEMENT LINE
TREES	EDGE OF PAVEMENT		PROPERTY LINE
LANDSCAPED AREA	LANDSCAPED AREA		RIGHT-OF-WAY LINE
SURVEY BEARING & DISTANCE	DEED BEARING & DISTANCE		CONTOUR LINE
WETLAND FLAG			WETLAND DELINEATION LINE
DATA POINT			



PROJECT LOCATION MAP

SCALE: N.T.S.

GENERAL NOTES

- THIS SURVEY IS BASED UPON PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE AND THE REFERENCES NOTED HEREON.
 - THE MERIDIAN OF THIS SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83 (2011) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
 - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) DERIVED USING SURVEY-GRADE GNSS EQUIPMENT.
- SITE BENCHMARKS:
- | | | |
|---|---|---|
| BENCHMARK-A
N: 50584.3611
E: 610455.5482
Z: 104.52
MAG NAIL SET | BENCHMARK-B
N: 507497.8554
E: 610124.8544
Z: 76.23
MAG NAIL SET | BENCHMARK-C
N: 507497.8554
E: 610181.6547
Z: 76.23
MAG NAIL SET |
|---|---|---|
- STREET NAMES, RIGHT OF WAY WIDTHS, BLOCK AND LOT NUMBERS ARE SHOWN IN ACCORDANCE WITH THE TOWNSHIP OF NEPTUNE TAX MAPS.
 - TOPOGRAPHIC INFORMATION SHOWN HEREON BASED ON LIDAR OBTAINED ON 07/03/19 BY KEYSTONE AERIAL SURVEYS. DATA SHOWN MEETS NATIONAL MAP ACCURACY STANDARDS.
 - PLANIMETRIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DURING DEC 2018 AND JAN 2019.
 - OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND SHOULD NOT BE USED IN CONSTRUCTION OF ANY TYPE. LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. RECOMMENDS THE PLACEMENT OF SURVEY MARKERS.
 - ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT.
 - UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND THE LOCATIONS WHERE DATA WAS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE. THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
 - ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
 - UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
 - PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS UNLESS NOTED BELOW SUPPLEMENTAL DOCUMENTS WERE NOT USED TO COMPLETE THE SUBSURFACE UTILITY INFORMATION SHOWN HEREON.
 - SOME UTILITY STRUCTURES WERE NON ACCESSIBLE AT TIME OF FIELD SURVEY.
 - THIS PLAN NOT VALID UNLESS EMBOSSED WITH THE IMPRESSION SEAL OR ENCRYPTED WITH THE DIGITAL SIGNATURE AND SEAL OF THE PROFESSIONAL.
 - THE FRESHWATER WETLANDS/WATERS BOUNDARY LINES SHOWN HEREON HAVE BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION PER THE LETTER OF INTERPRETATION DATED MAY 24, 2021, FILE NO.: 1334-09-0002.1

FLOOD ZONE

TABLE A ITEM 3

AS PER THE "NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP TITLED 'MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)', PANEL 327 OF 457, COMMUNITY PANEL NUMBER 540260327, EFFECTIVE DATE, SEPTEMBER 29, 2009, PORTIONS OF THE SUBJECT PROPERTY LIES WITHIN ZONE AE AND ZONE X



REFERENCES

- "STATE OF NEW JERSEY HIGHWAY DEPARTMENT PLANS OF ROUTE 33 - 35 CONNECTION, SECTION 1-4 PAVING AND SECTION 2 GRADING FROM ANDERSON'S CORNER TO ROUTE 35 TRAFFIC CIRCLE, MONMOUTH COUNTY" DATED MAY 24, 1941, SHEETS 1, 12, 13, 14, & 15 OF 48.
- "NEW JERSEY DEPARTMENT OF TRANSPORTATION ENTIRE TRACT MAP, ROUTE 66 (1953), SECTION 1, FROM ROUTE 33 TO ROUTE 35 SHOWING EXISTING RIGHT OF WAY AND PARCELS TO BE ACQUIRED IN THE BOROUGH OF NEW SHREWSBURY AND TOWNSHIPS OF NEPTUNE AND OCEAN, COUNTY OF MONMOUTH" DATED OCTOBER 1969, SHEETS 3 & 4 OF 5.
- TAX MAP OF THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY SHEETS #48.01 & 48.02 (NOTE LOTS 9.01 & 9.02 AS SHOWN HEREON ARE BASED UPON DEED INFORMATION - NOT INDICATED ON CURRENTLY AVAILABLE TAX MAP).
- "NEW JERSEY DEPARTMENT OF TRANSPORTATION GENERAL PROPERTY PARCEL MAP, ROUTE 66 (1953), SECTION 1, FROM ROUTE 33 TO ROUTE 35 SHOWING EXISTING RIGHT OF WAY AND PARCELS TO BE ACQUIRED IN THE BOROUGH OF NEW SHREWSBURY AND TOWNSHIPS OF NEPTUNE AND OCEAN, COUNTY OF MONMOUTH" DATED OCTOBER 1969, SHEETS 16, 19, 20, 21, 22 & 23 OF 33.
- "ALTA/ACSM LAND TITLE SURVEY, AC 1 NEPTUNE LLC, 3501 N.J.S.H. ROUTE 66, LOTS 6, 7 & 8, BLOCK 10017, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, STATE OF NEW JERSEY" PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED MAY 10, 2007, LAST REVISED AUGUST 12, 2010.
- SURVEY AND DESIGN DATA BY LANGAN FOR ADJOINING PARCELS.
- TITLE REPORT BY: STEWART TITLE GUARANTY COMPANY
COMMENT NUMBER: 297493
DATED: APRIL 2, 2019
REVISED: APRIL 12, 2019

TITLE EXCEPTIONS

- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE FOLLOWING FACTS AS REVEALED BY THE HEREON REFERENCED INFORMATION. THE INFORMATION SHOWN HEREON DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AN ACCURATE AND CURRENT TITLE REPORT.
- 10. TAX MAP OF THE TOWNSHIP OF NEPTUNE DATED 11/2014 SHOWING 30 FOOT SEWER EASEMENT AND 100 FOOT EASTERN NJ POWER COMPANY ROW EASEMENT PLOTTED
 - 11. DEED BOOK 1525 PAGE 409 TO HOLLERS FOR UTILITY EASEMENT PLOTTED
 - 12. DEED BOOK 1841 PAGE 498 SLOPE & DRAINAGE RIGHTS TO STATE OF NJ ALONG ROUTE 66 PLOTTED
 - 12. DEED BOOK 1872 PAGE 022 SLOPE & DRAINAGE RIGHTS TO STATE OF NJ ALONG ROUTE 66 PLOTTED
 - 13. DEED BOOK 2428 PAGE 248 ROW TO JCP&L & NJ BELL FOR POLE NO 247 PLOTTED
 - 13. DEED BOOK 3693 PAGE 339 ROW TO JCP&L & NJ BELL FOR POLE NO 1821 / 2746 PLOTTED
 - 13. DEED BOOK 3693 PAGE 341 ROW TO JCP&L & NJ BELL FOR POLE NO 2745 / 2746 PLOTTED
 - 13. DEED BOOK 3769 PAGE 471 TO JCP&L FOR 100 FOOT WIDE ROW PLOTTED
 - 13. DEED BOOK 4113 PAGE 018 ROW TO JCP&L & NJ BELL FOR POLE NO JC3098 PLOTTED
 - 14. DEED BOOK 4244 PAGE 287 TO JCP&L & NJ BELL FOR UNDERGROUND EASEMENT PLOTTED
 - 14. DEED BOOK 3459 PAGE 466 ROW TO FL CO & TOWNSHIP OF NEPTUNE PLOTTED
 - 15. DEED BOOK 3653 PAGE 621 EASEMENTS FLL CO & INSCO SYSTEMS EASEMENT PLOTTED

Date	Description	No.
5/4/23	ADDED NJDOT BASELINE STATIONS ON ROUTE 66	5
8/04/21	WETLAND BUFFER AND LOI NOTE	4
4/07/21	PER NJDEP COMMENTS	3
2/26/21	ADDED ROAD TOPOGRAPHY & INVERTS	2
11/20/20	ADDED BENCHMARKS	1
Date	Description	No.
REVISIONS		

I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with N.J.A.C. 13-40-51 "Preparation of Land Surveys", and to the best of my professional knowledge, information and belief, and in my professional opinion, accurately represents the conditions found on the date of the field survey of the subject property.

Signature: *David R. Avery* 5/4/23
 DAVID R. AVERY
 PROFESSIONAL LAND SURVEYOR
 NJ Lic. No. 24GSO3964600

LANGAN
 Langan Engineering and Environmental Services, Inc.
 300 Kimball Drive
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 T: 973.560.4900 F: 973.560.4901 www.langan.com
 NJ CERTIFICATE OF AUTHORIZATION No. 24GSO3964600

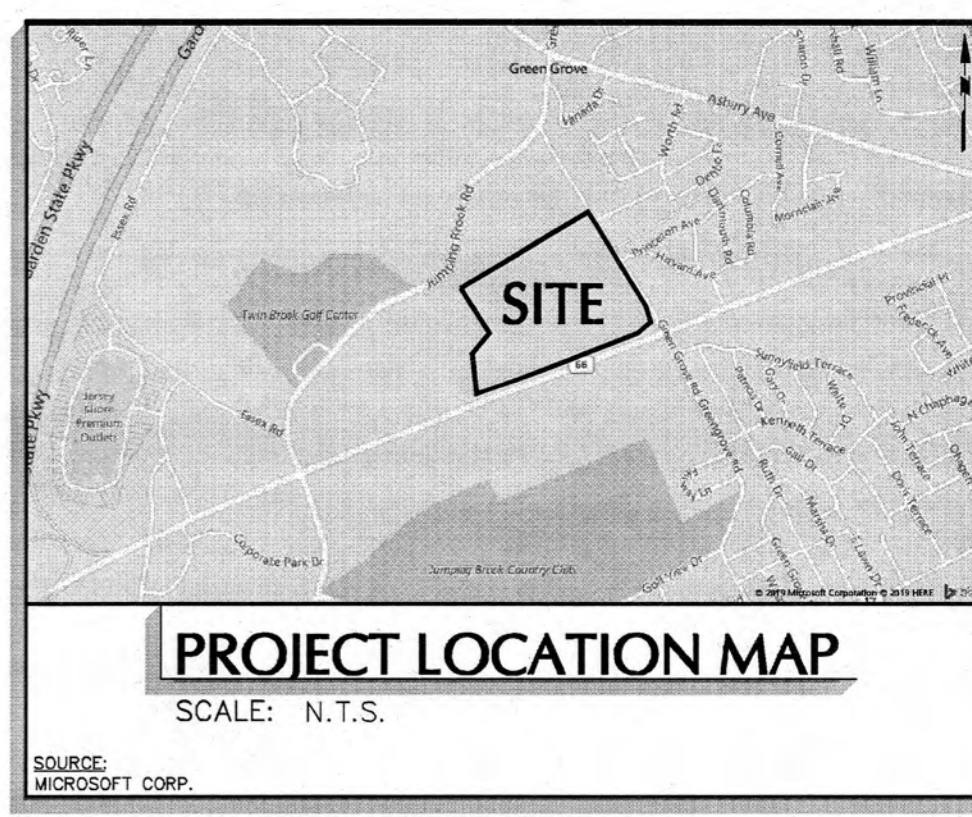
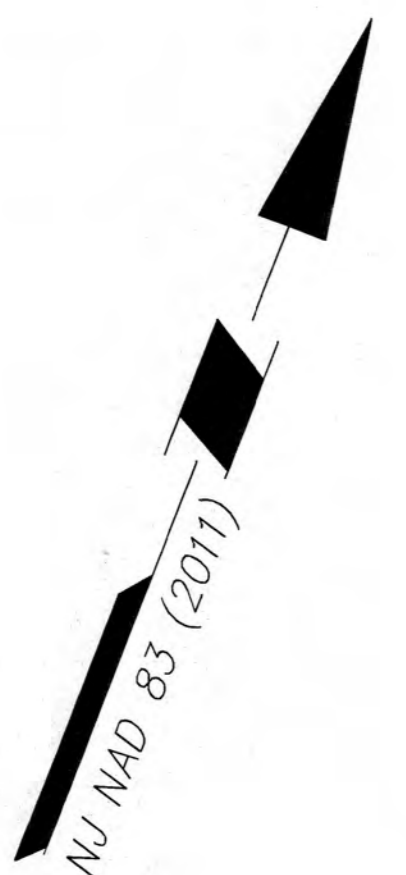
Project: **AC 1 NEPTUNE LLC**
 3501 NJ ROUTE NO. 66
 BLOCK 3903 LOT No. 12 & 13
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

Drawing Title: **BOUNDARY AND TOPOGRAPHIC SURVEY**

Project No.: **100775001**
 Date: **27 OCTOBER 2020**
 Drawn By: **HBV**
 Checked By: **DRA**
 Drawing No.: **VT100**
 Sheet 1 of 5

LEGEND OF SYMBOLS & ABBREVIATIONS

HYDRANT	BOLLARD	STORM DRAIN
STREET LIGHT	PEDESTRIAN WALK SIGNAL	SANITARY LINE
AREA LIGHT	DOOR	COMBINED UTILITY LINE
SIGNAL POLE	DOUBLE DOOR	UNKNOWN UTILITY LINE
POLE	OVERHEAD DOOR	GAS LINE
GUY WIRE	PARKING METER	WATER LINE
ANCHOR POLE	METAL COVER	ELECTRIC LINE
MANHOLE (DRAINAGE)	ELECTRIC BOX	TELEPHONE LINE
MANHOLE (SANITARY SEWER)	SOIL BORING	CABLE TV LINE
MANHOLE (ELECTRIC)	MONITORING WELL	STEAM LINE
MANHOLE (WATER)	TEST PIT	FORCE MAIN
MANHOLE (NATURAL GAS)	BENCHMARK	FIBER OPTIC
MANHOLE (TELEPHONE)	ROOF DRAIN	REFERENCED UTILITY LINE (TYPE AS NOTED) BASED ON RECORD MAPPING
MANHOLE (FORCE MAIN)	SPOT ELEVATION	OVERHEAD WIRE
MANHOLE (STEAM)	CONCRETE CURB	GUIDE RAIL (TYPE AS NOTED)
MANHOLE (UNKNOWN UTILITY)	DETECTABLE PAD	CHAIN LINK FENCE
WATER VALVE	DRIP CURB	WOOD/STOCKADE FENCE
GAS VALVE	BROKEN WHITE STRIPE	WIRE FENCE
SHRUB	SINGLE YELLOW STRIPE	IRON FENCE
CATCH BASIN	DOUBLE YELLOW STRIPE	TREE LINE
CLEAN OUT	SINGLE WHITE STRIPE	EASEMENT LINE
TREE	REINFORCED CONCRETE PIPE	PROPERTY LINE
WETLAND FLAG	DUCTILE IRON PIPE	RIGHT-OF-WAY LINE
DATA POINT	CORRUGATED METAL PIPE	CONTOUR LINE
	NO VISIBLE PIPE	WETLAND DELINEATION LINE
	EDGE OF PAVEMENT	
	LANDSCAPED AREA	
	SURVEY BEARING & DISTANCE	
	DEED BEARING & DISTANCE	



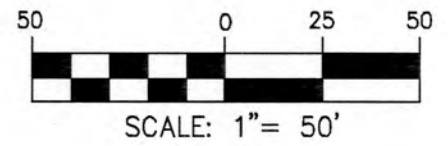
MATCH LINE SHEET VT101
MATCH LINE SHEET VT103

BLOCK 3903, LOT 4
N/F LANDS OF NEPTUNE
PARK FOR INDUSTRY, LLC
DB 3851, PG 700

BLOCK 3903 LOT 5
N/F LANDS OF NEPTUNE
PARK FOR INDUSTRY, LLC
DB 8580, PG 2430

BLOCK 3903, LOT 5.01
N/F LANDS OF TOWNSHIP
NEPTUNE 8603, PG 4343

BLOCK 3903, LOTS 12 & 13
(FORMERLY BLOCK 10017 LOTS 6, 7 & 8)
N/F LANDS OF AC I NEPTUNE, LLC
DB 9688, PG 2037
AREA = 2,063,799 S.F. OR 47.377 ACRES ±



Date	Description	No.
5/4/23	ADDED NJDOT BASELINE STATIONS ON ROUTE 66	5
8/04/21	WETLAND BUFFER AND LOI NOTE	4
4/07/21	PER NJDEP COMMENTS	3
2/26/21	ADDED ROAD TOPOGRAPHY & INVERTS	2
11/20/20	ADDED BENCHMARKS	1

I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with N.J.A.C. 12-40-5.1 "Preparation of Land Surveys", and to the best of my professional knowledge, information and belief, and in my professional opinion, accurately represents the conditions found on the date of the field survey of the subject property.

David R. Avery 5/4/23
SIGNATURE DAVID R. AVERY DATE SIGNED
PROFESSIONAL LAND SURVEYOR
NJ Lic. No. 246S03964600

LANGAN
Langan Engineering and Environmental Services, Inc.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION No. 246A27986400

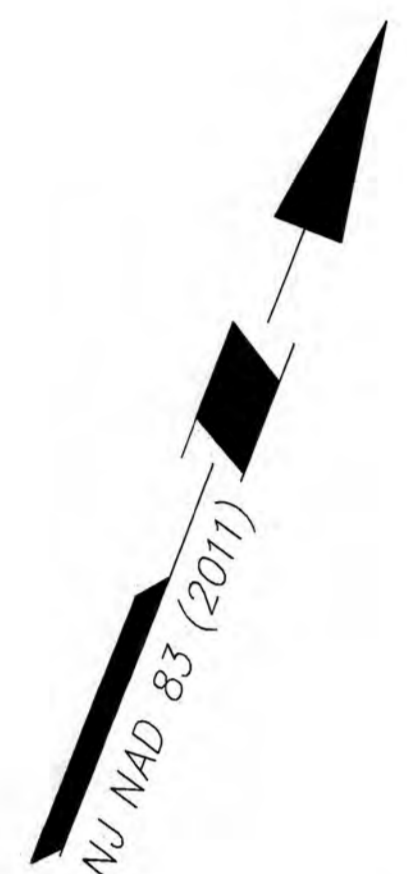
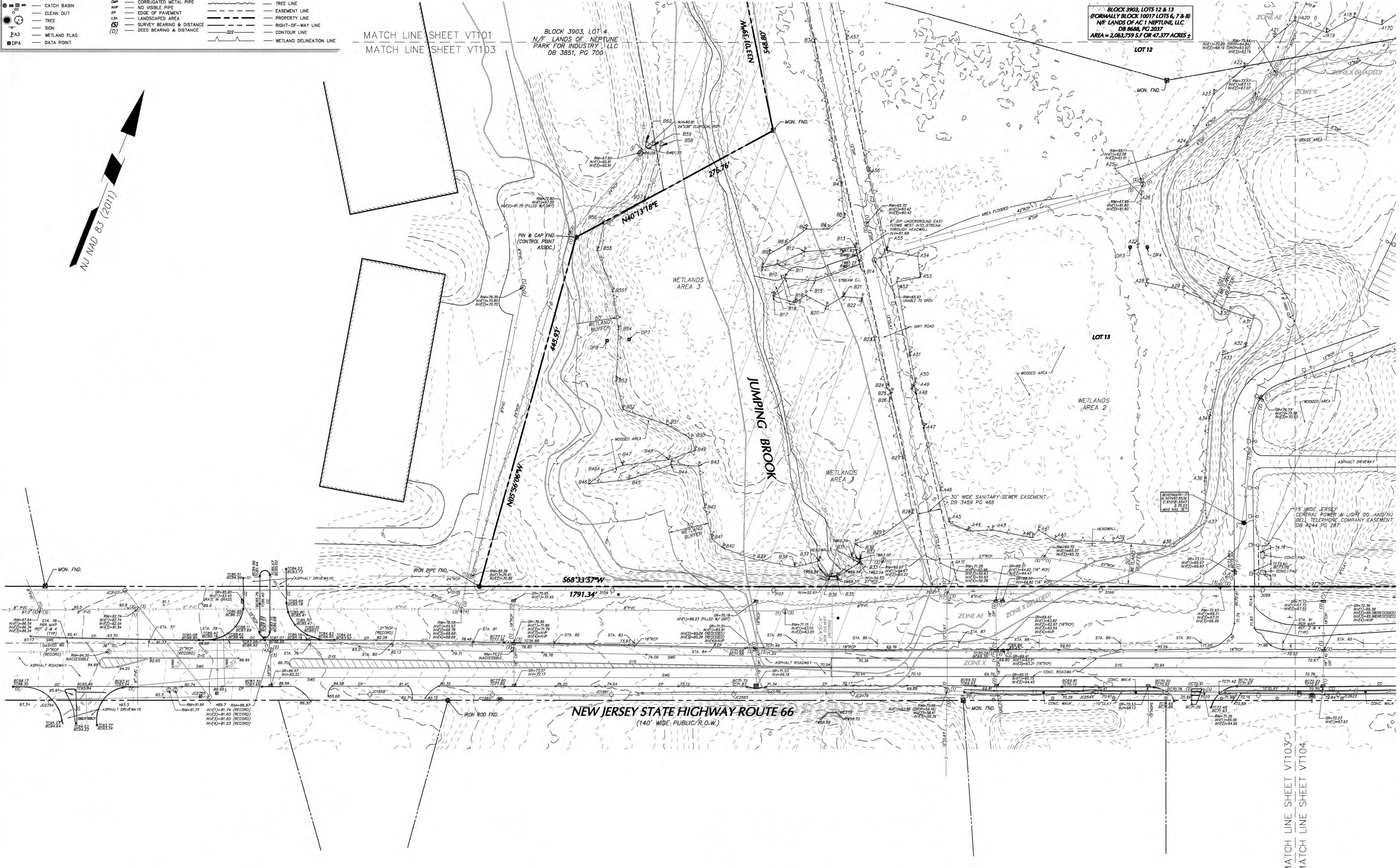
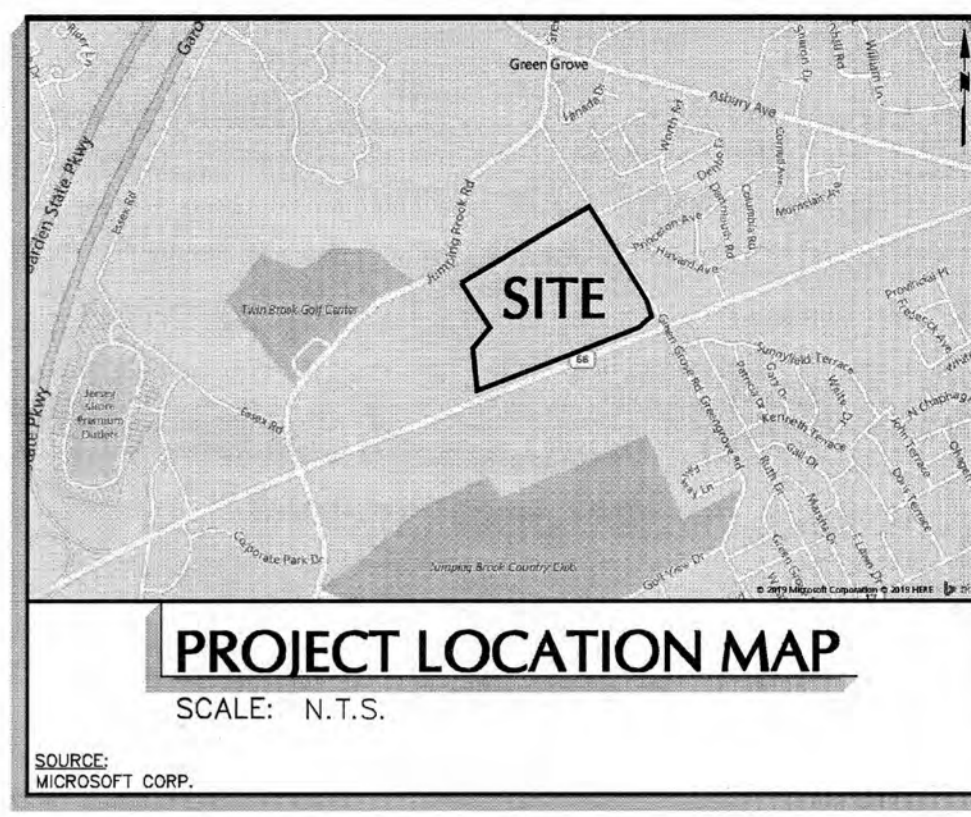
Project
AC I NEPTUNE LLC
3501 NJ ROUTE No. 66
BLOCK 3903 LOT No. 12 & 13
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

Drawing Title
BOUNDARY AND TOPOGRAPHIC SURVEY

Project No. 100775001
Date 27 OCTOBER 2020
Drawn By HBV
Checked By DRA
Drawing No. VT101
Sheet 2 of 5

LEGEND OF SYMBOLS & ABBREVIATIONS

HYDRANT	BOLLARD	D	STORM DRAIN
STREET LIGHT	PEDESTRIAN WALK SIGNAL	S	SANITARY LINE
AREA LIGHT	DOOR	COMP	COMBINED UTILITY LINE
SIGNAL POLE	OVERHEAD DOOR	UNK	UNKNOWN UTILITY LINE
POLE	PARKING METER	G	GAS LINE
CLY WIRE	METAL COVER	W	WATER LINE
ANCHOR POLE	ELECTRIC BOX	E	ELECTRIC LINE
MANHOLE	SOIL BORING	T	TELEPHONE LINE
MANHOLE (DRAINAGE)	MONITORING WELL	C	CABLE TV LINE
MANHOLE (SANITARY SEWER)	TEST PIT	ST	STEAM LINE
MANHOLE (ELECTRIC)	BENCHMARK	FM	FORCE MAIN
MANHOLE (WATER)	SPOT ELEVATION	FO	FIBER OPTIC
MANHOLE (NATURAL GAS)	CONCRETE CURB	REF	REFERENCED UTILITY LINE (TYPE AS NOTED) BASED ON RECORD MAPPING
MANHOLE (TELEPHONE)	CONCRETE	OW	OVERHEAD WIRE
MANHOLE (FORCE MAIN)	DETECTABLE PAD	CL	CHAIN LINK FENCE
MANHOLE (STEAM)	DROP CURB	WF	WOOD/STOCKADE FENCE
MANHOLE (UNKNOWN UTILITY)	BROKEN WHITE STRIPE	WF	WIRE FENCE
WATER VALVE	SINGLE YELLOW STRIPE	TR	TREE LINE
GAS VALVE	SINGLE WHITE STRIPE	EL	EASEMENT LINE
SHRUB	REINFORCED CONCRETE PIPE	PR	PROPERTY LINE
CATCH BASIN	DUCTILE IRON PIPE	RL	RIGHT-OF-WAY LINE
CLEAN OUT	CORRUGATED METAL PIPE	CO	CONTOUR LINE
TREE	NO VISIBLE PIPE	DB	DEED BEARING & DISTANCE
SON	EDGE OF PAVEMENT	WDL	WETLAND DELINEATION LINE
WETLAND FLAG	LANDSCAPED AREA		
DATA POINT	SURVEY BEARING & DISTANCE		
	DEED BEARING & DISTANCE		



Date	Description	No.
5/4/23	ADDED NJDOT BASELINE STATIONS ON ROUTE 66	5
8/04/21	WETLAND BUFFER AND LOI NOTE	4
4/07/21	PER NJDEP COMMENTS	3
2/26/21	ADDED ROAD TOPOGRAPHY & INVERTS	2
11/20/20	ADDED BENCHMARKS	1

I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with N.J.A.C. 12-40-11 "Preparation of Land Surveys" and to the best of my professional knowledge, information and belief, and in my professional opinion, accurately represents the conditions found on the date of the field survey of the subject property.

David R. Avery 5/4/23
 SIGNATURE DAVID R. AVERY DATE SIGNED
 PROFESSIONAL LAND SURVEYOR
 NJ Lic. No. 246S03964600

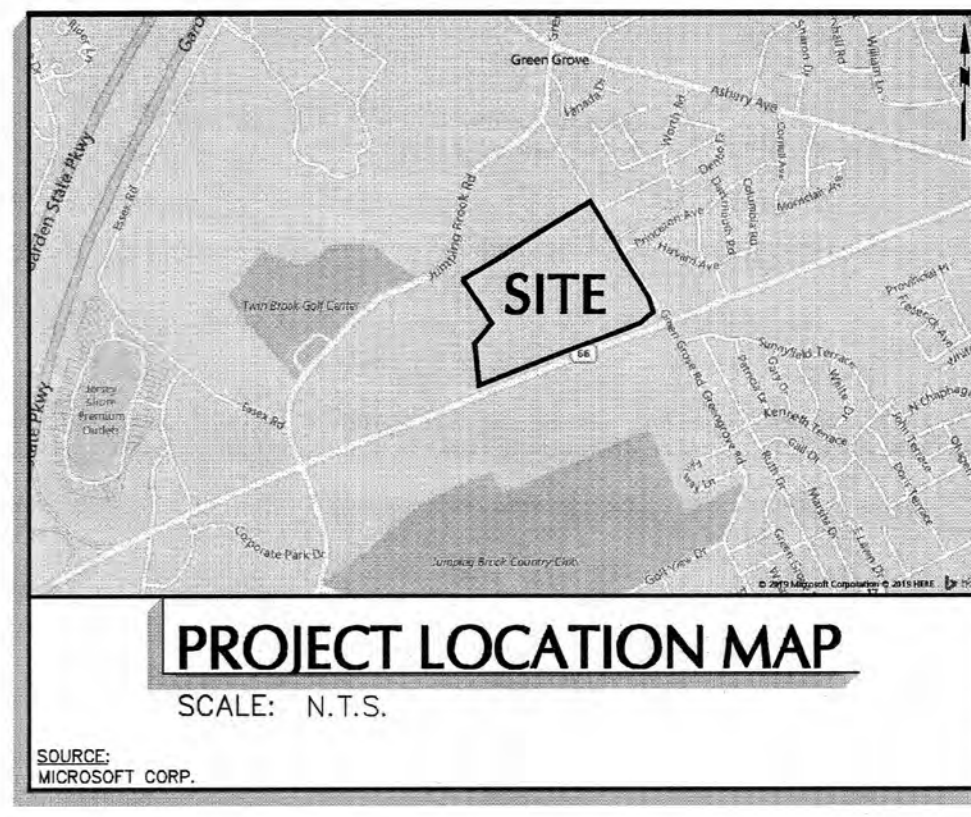
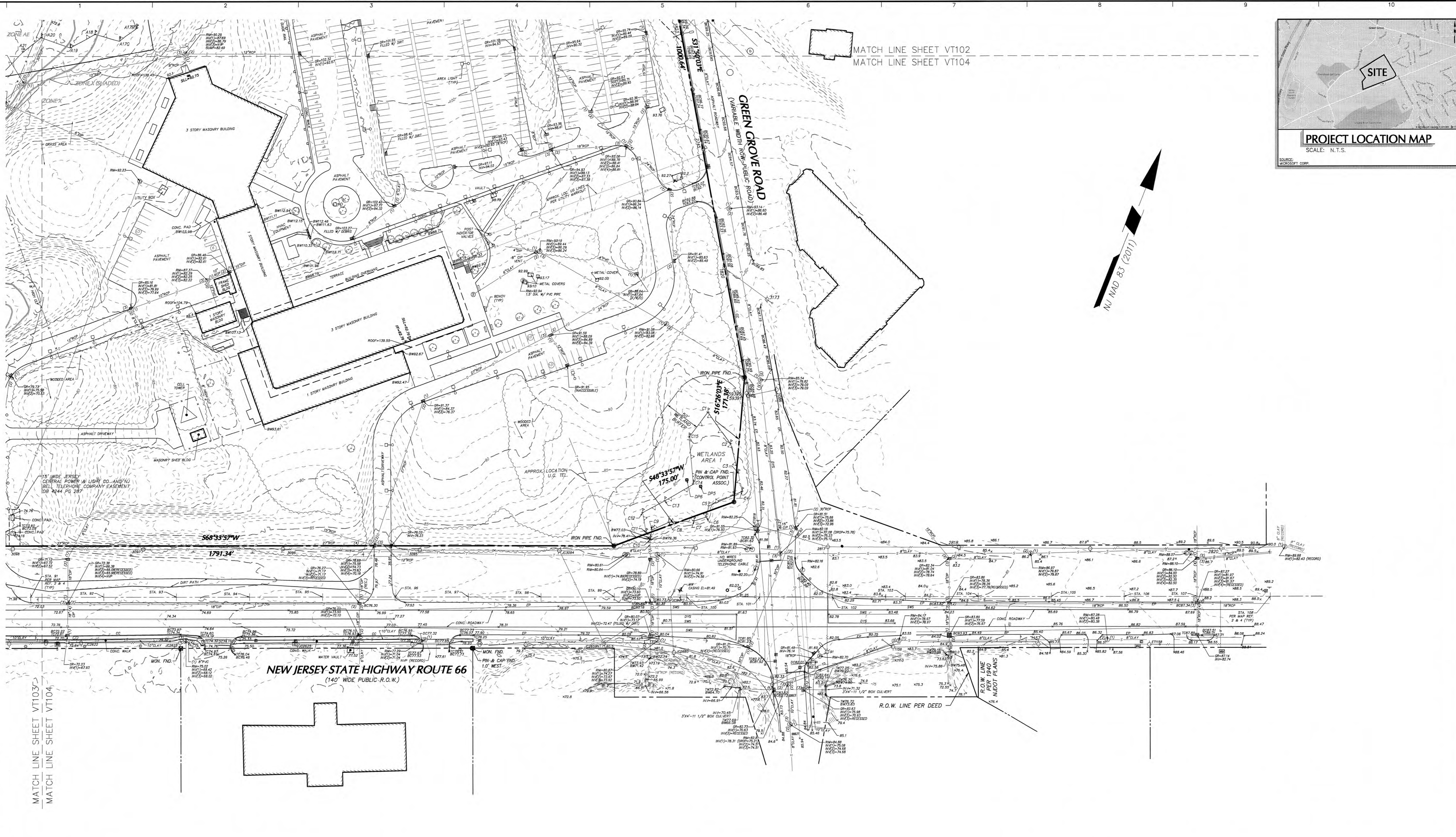
LANGAN
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 NJ CERTIFICATE OF AUTHORIZATION No. 246A27996400

Project
AC I NEPTUNE LLC
 3501 NJ ROUTE No. 66
 BLOCK 3903 LOT No. 12 & 13
 TOWNSHIP OF NEPTUNE
 MONMOUTH COUNTY NEW JERSEY

Drawing Title
BOUNDARY AND TOPOGRAPHIC SURVEY

Project No. 100775001
 Date 27 OCTOBER 2020
 Drawn By HBV
 Checked By DRA
 Drawing No. VT103
 Sheet 4 of 5





LEGEND OF SYMBOLS & ABBREVIATIONS

HYDRANT	BOLLARD	D	STORM DRAIN
STREET LIGHT	PEDESTRIAN WALK SIGNAL	S	SANITARY LINE
AREA LIGHT	DOUBLE DOOR	COMP	COMBINED UTILITY LINE
SIGNAL POLE	OVERHEAD DOOR	UNK	UNKNOWN UTILITY LINE
POLE	PARKING METER	GAS	GAS LINE
GLY WIRE	METAL COVER	W	WATER LINE
ANCHOR POLE	ELECTRIC BOX	E	ELECTRIC LINE
MANHOLE	MONITORING WELL	T	TELEPHONE LINE
MANHOLE (DRAINAGE)	TEST PIT	C	CABLE TV LINE
MANHOLE (SANITARY SEWER)	BENCHMARK	ST	STEAM LINE
MANHOLE (ELECTRIC)	ROOF DRAIN	FM	FORCE MAIN
MANHOLE (WATER)	SPOT ELEVATION	FO	FIBER OPTIC
MANHOLE (NATURAL GAS)	CONCRETE CURB	L	REFERENCED UTILITY LINE
MANHOLE (TELEPHONE)	CONCRETE		(TYPE AS NOTED) BASED
MANHOLE (FORCE MAIN)	DETECTABLE PAD		ON RECORD MAPPING
MANHOLE (STEAM)	DROP CURB		
MANHOLE (UNKNOWN UTILITY)	BROKEN WHITE STRIPE		
WATER VALVE	SINGLE YELLOW STRIPE		
GAS VALVE	DOUBLE YELLOW STRIPE		
SHRUB	SINGLE WHITE STRIPE		
CATCH BASIN	REINFORCED CONCRETE PIPE		
CLEAN OUT	DUCTILE IRON PIPE		
TREE	CORRUGATED METAL PIPE		
SURVEY BEARING & DISTANCE	NO VISIBLE PIPE		
DEED BEARING & DISTANCE	EDGE OF PAVEMENT		
WETLAND FLAG	LANDSCAPED AREA		
DATA POINT	CONTOUR LINE		
	RIGHT-OF-WAY LINE		
	PROPERTY LINE		
	WETLAND DELINEATION LINE		

Date	Description	No.
5/4/23	ADDED NJDOT BASELINE STATIONS ON ROUTE 66	5
8/04/21	WETLAND BUFFER AND LOI NOTE	4
4/07/21	PER NJDEP COMMENTS	3
2/26/21	ADDED ROAD TOPOGRAPHY & INVERTS	2
11/20/20	ADDED BENCHMARKS	1

I hereby state that this plan is based on a field survey made by me or under my immediate supervision in accordance with N.J.A.C. 15:40-5.1 "Preparation of Land Surveys", and to the best of my professional knowledge, information and belief, and in my professional opinion, accurately represents the conditions found on the date of the field survey of the subject property."

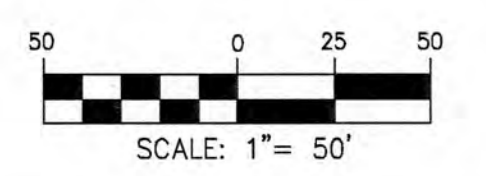
David R. Avery 5/4/23
 SIGNATURE DAVID R. AVERY DATE SIGNED
 PROFESSIONAL LAND SURVEYOR
 N.J. Lic. No. 24GS03964800

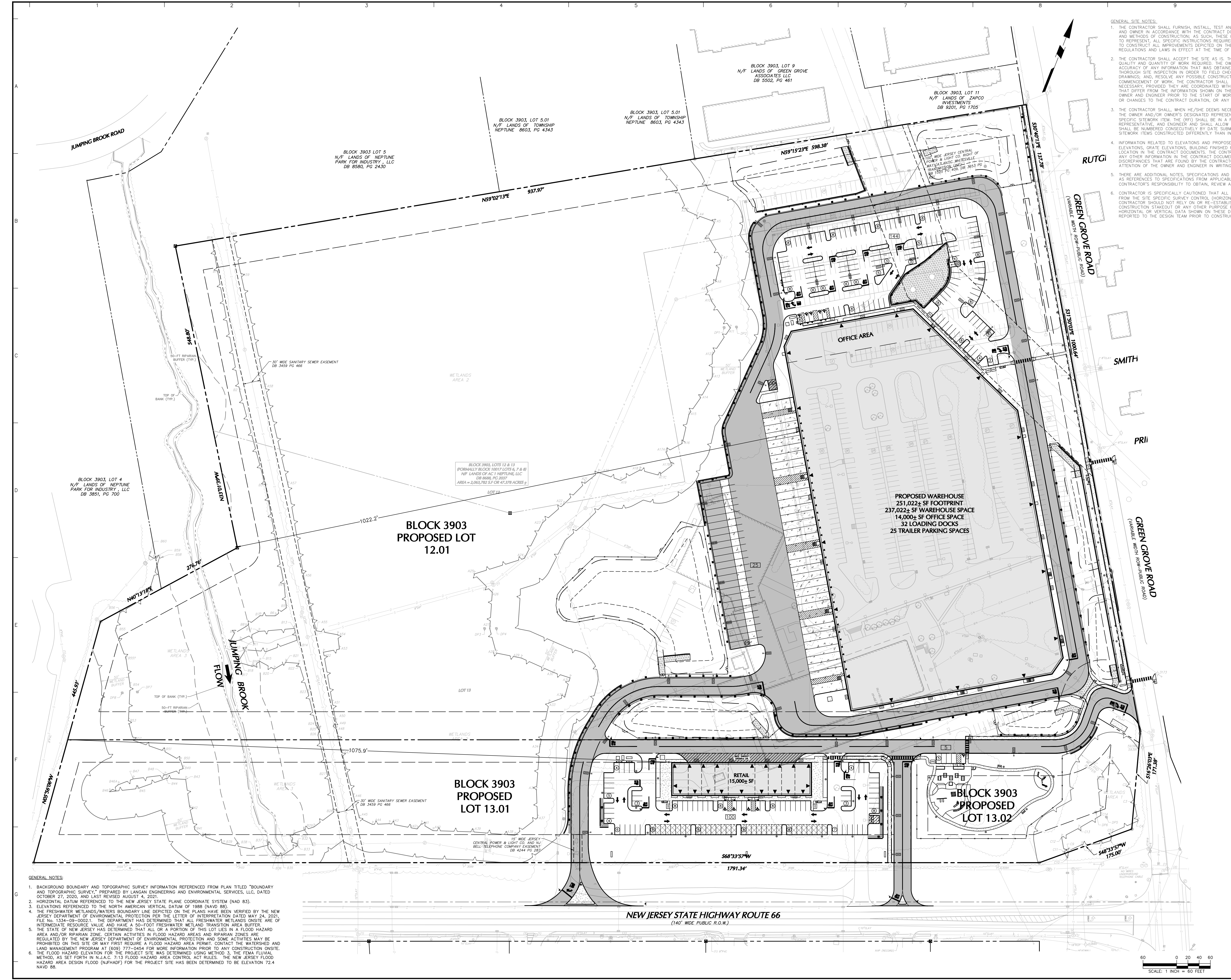
LANGAN
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 NJ CERTIFICATE OF AUTHORIZATION No. 24GA27986400

Project
AC I NEPTUNE LLC
 3501 NJ ROUTE No. 66
 BLOCK 3903 LOT No. 12 & 13
 TOWNSHIP OF NEPTUNE
 NEW JERSEY

Drawing Title
BOUNDARY AND TOPOGRAPHIC SURVEY

Project No. **100775001**
 Date **27 OCTOBER 2020**
 Drawn By **HBV**
 Checked By **DRA**
 Drawing No. **VT104**
 Sheet 5 of 5






- GENERAL SITE NOTES:**
1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS. CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY. PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
 3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
 4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
 5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
 6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHALL NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL, BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE/ROW	---
BUILDING LINE	▬
SETBACK LINE	- - -
CURB LINE	▬
ADA ACCESSIBLE RAMP	▬
ADA SYMBOL	♿
TRAFFIC SIGN	Ⓢ
SIGN DESIGNATION	Ⓢ
PARKING ROW COUNT	Ⓢ
PARKING COUNT	Ⓢ
SUB-TOTAL	Ⓢ
DIRECTION ARROW	→
STOP BAR	▬
RETAINING WALL	▬
FENCE	▬
GUIDE RAIL	▬
CROSSWALK (STRIPING)	▬
CONCRETE SIDEWALK	▬
MANHOLE	⊙
CATCH BASIN	⊙
FIRE HYDRANT	⊙
LIGHT POLE	⊙
TREE	⊙

PAVEMENT LEGEND	
HEAVY-DUTY ASPHALT PAVEMENT	▬
STANDARD-DUTY ASPHALT PAVEMENT	▬
HEAVY-DUTY CONCRETE PAVEMENT	▬

Date	Description	No.
5/3/24	REVISED FOR SUBMISSION TO NEPTUNE	2
7/28/23	REVISED PER N.J.DOT, NJDEP, & FIRST ENERGY COMMENTS	1

REVISIONS



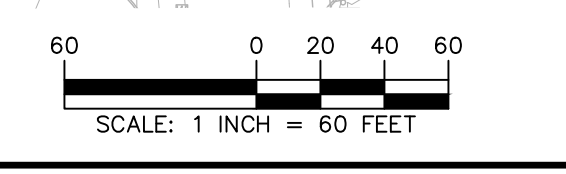
 SIGNATURE: *John Cote* DATE SIGNED: 5/3/2024
 PROFESSIONAL ENGINEER NJ Lic. No. 246E03705800

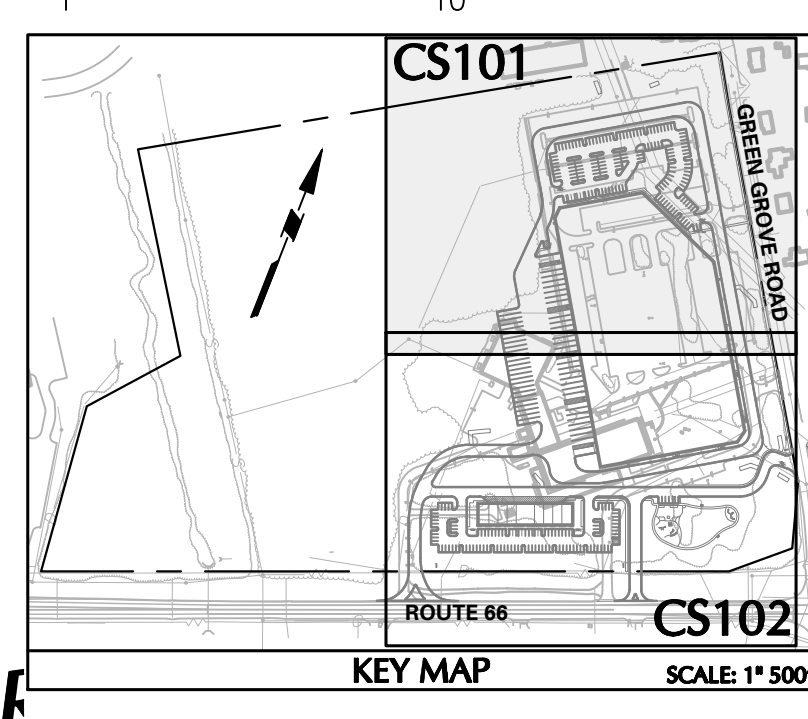
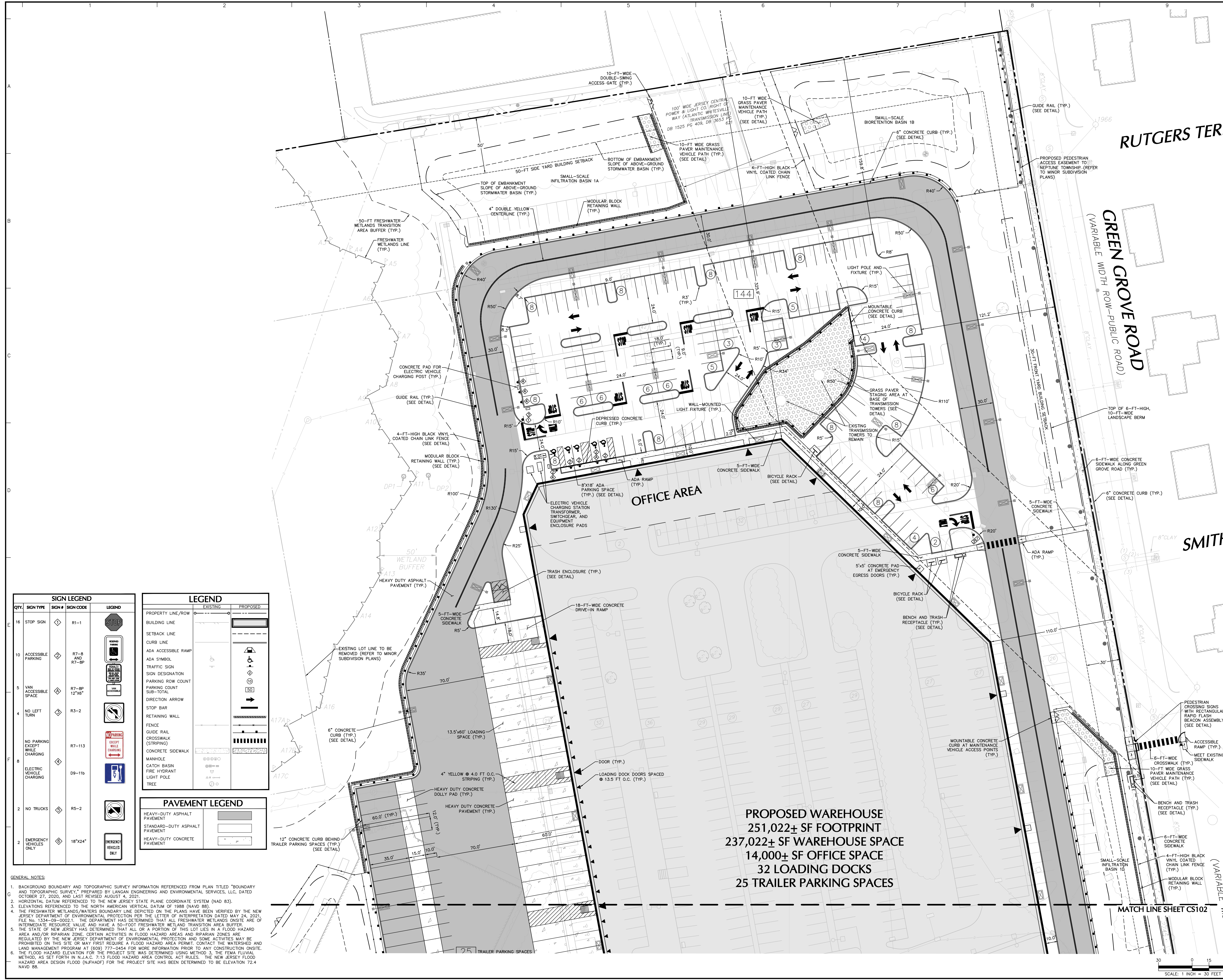
LANGAN
 Langan Engineering and Environmental Services, LLC
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 Parsippany, NJ 07054
 T: 973.560.4900 F: 973.560.4901 www.langan.com
 NJ Certificate of Authorization No. 246A27896409

3501 STATE ROUTE 66 REDEVELOPMENT
 BLOCK No. 3903, LOT No. 12 & 13
 NEPTUNE TOWNSHIP
 MONMOUTH COUNTY NEW JERSEY
 Drawing Title

OVERALL SITE PLAN
 Project No. 100775002 Drawing No. CS100
 Date: AUGUST 26, 2022
 Drawn By: TEG
 Checked By: MV
 Sheet 11 of 48

- GENERAL NOTES:**
1. BACKGROUND BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION REFERENCED FROM PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC, DATED OCTOBER 27, 2020, AND LAST REVISED AUGUST 4, 2021.
 2. HORIZONTAL DATUM REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD 83).
 3. ELEVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 4. THE FRESHWATER WETLANDS/WATERS BOUNDARY LINE DEPICTED ON THE PLANS HAVE BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION PER THE LETTER OF INTERPRETATION DATED MAY 24, 2021, FILE NO. 1334-09-0002.1. THE DEPARTMENT HAS DETERMINED THAT ALL FRESHWATER WETLANDS ON-SITE ARE OF INTERMEDIATE RESOURCE VALUE AND HAVE A 50-FOOT FRESHWATER WETLAND TRANSITION AREA BUFFER.
 5. THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS LOT LIES IN A FLOOD HAZARD AREA AND/OR RIPARIAN ZONE. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONTACT THE WATERSHED AND LAND MANAGEMENT PROGRAM AT (609) 777-0454 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON-SITE.
 6. THE FLOOD HAZARD ELEVATION FOR THE PROJECT SITE WAS DETERMINED USING METHOD 3, THE FEMA FLUVIAL METHOD, AS SET FORTH IN N.J.A.C. 7:13 FLOOD HAZARD AREA CONTROL ACT RULES. THE NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD (NFHAD) FOR THE PROJECT SITE HAS BEEN DETERMINED TO BE ELEVATION 72.4 NAVD 88.





RUTGERS TERR

GREEN GROVE ROAD
(VARIABLE WIDTH ROW - PUBLIC ROAD)

SMITH

SIGN LEGEND			
QTY.	SIGN TYPE	SIGN #	LEGEND
16	STOP SIGN	R1-1	
10	ACCESSIBLE PARKING	R7-8 AND R7-8P	
5	VAN ACCESSIBLE SPACE	R7-8P 12'x6'	
4	NO LEFT TURN	R3-2	
	NO PARKING EXCEPT WHILE CHARGING	R7-113	
8	ELECTRIC VEHICLE CHARGING	09-11b	
2	NO TRUCKS	R5-2	
2	EMERGENCY VEHICLES ONLY	18"x24"	

LEGEND	
EXISTING	PROPOSED

PAVEMENT LEGEND	
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	HEAVY-DUTY CONCRETE PAVEMENT

GENERAL NOTES:
 1. BACKGROUND BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION REFERENCED FROM PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC, DATED OCTOBER 27, 2020, AND LAST REVISED AUGUST 4, 2021.
 2. HORIZONTAL DATUM REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD 83).
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PROPOSED WAREHOUSE
 251,022± SF FOOTPRINT
 237,022± SF WAREHOUSE SPACE
 14,000± SF OFFICE SPACE
 32 LOADING DOCKS
 25 TRAILER PARKING SPACES

Date	Description	No.
5/3/24	REVISED FOR SUBMISSION TO NEPTUNE	2
7/28/23	REVISED PER N.J.DOT, NJDEP, & FIRST ENERGY COMMENTS	1

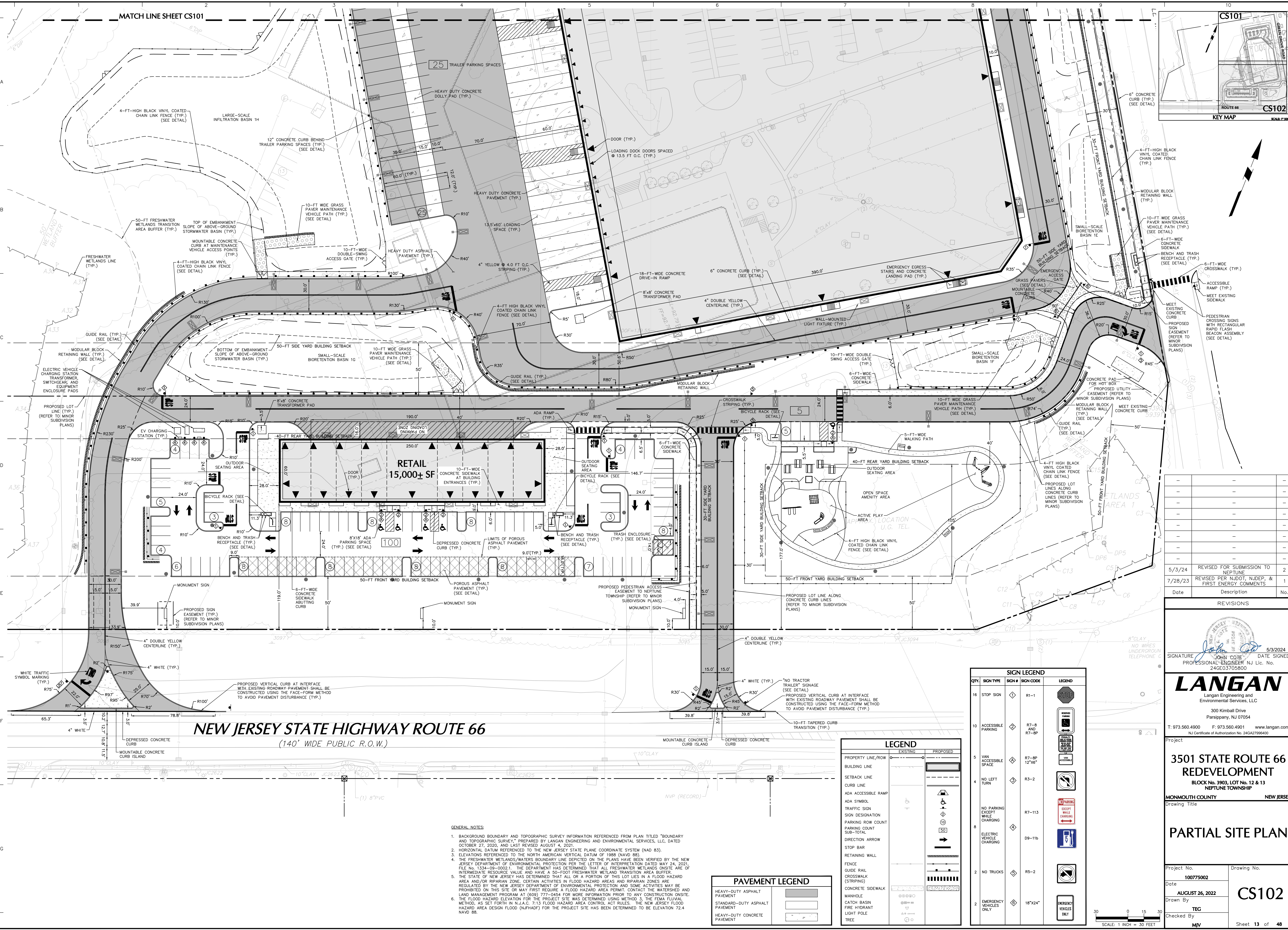
REVISIONS

DATE SIGNED: 5/3/2024
 SIGNATURE: JOHN COTE
 PROFESSIONAL ENGINEER NJ Lic. No. 24603705800

LANGAN
 Langan Engineering and Environmental Services, LLC
 300 Kimball Drive
 Parsippany, NJ 07054
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 NJ Certificate of Authorization No. 246A27896403

Project: 3501 STATE ROUTE 66 REDEVELOPMENT
 BLOCK No. 3903, LOT No. 12 & 13 NEPTUNE TOWNSHIP
 MONMOUTH COUNTY NEW JERSEY
 Drawing Title

Project No. 100775002
 Drawing No. CS101
 Date: AUGUST 26, 2022
 Drawn By: TEG
 Checked By: MVJ
 Sheet 12 of 48



NEW JERSEY STATE HIGHWAY ROUTE 66
(140' WIDE PUBLIC R.O.W.)

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PAVEMENT LEGEND

HEAVY-DUTY ASPHALT PAVEMENT	
STANDARD-DUTY ASPHALT PAVEMENT	
HEAVY-DUTY CONCRETE PAVEMENT	

LEGEND

PROPERTY LINE/ROW BUILDING LINE	EXISTING	PROPOSED
SETBACK LINE		
CURB LINE		
ADA ACCESSIBLE RAMP		
ADA SYMBOL		
TRAFFIC SIGN		
SIGN DESIGNATION		
PARKING ROW COUNT		
PARKING COUNT SUB-TOTAL		
DIRECTION ARROW		
STOP BAR		
RETAINING WALL		
FENCE		
GUIDE RAIL		
CROSSWALK (STRIPING)		
CONCRETE SIDEWALK		
MANHOLE		
CATCH BASIN		
FIRE HYDRANT		
LIGHT POLE		
TREE		

SIGN LEGEND

QTY.	SIGN TYPE	SIGN #	SIGN CODE	LEGEND
16	STOP SIGN	R1-1	R1-1	
10	ACCESSIBLE PARKING	R7-8 AND R7-1P	R7-8 AND R7-1P	
5	VAN ACCESSIBLE SPACE	R7-BP 12'x14'	R7-BP 12'x14'	
4	NO LEFT TURN	R3-2	R3-2	
	NO PARKING EXCEPT WHILE CHARGING	R7-113	R7-113	
8	ELECTRIC VEHICLE CHARGING	D9-11b	D9-11b	
2	NO TRUCKS	R5-2	R5-2	
2	EMERGENCY VEHICLES ONLY	18'x24'	18'x24'	

REVISIONS

Date	Description	No.
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7/28/23	REVISED PER N.J.DOT, NJDEP, & FIRST ENERGY COMMENTS	1

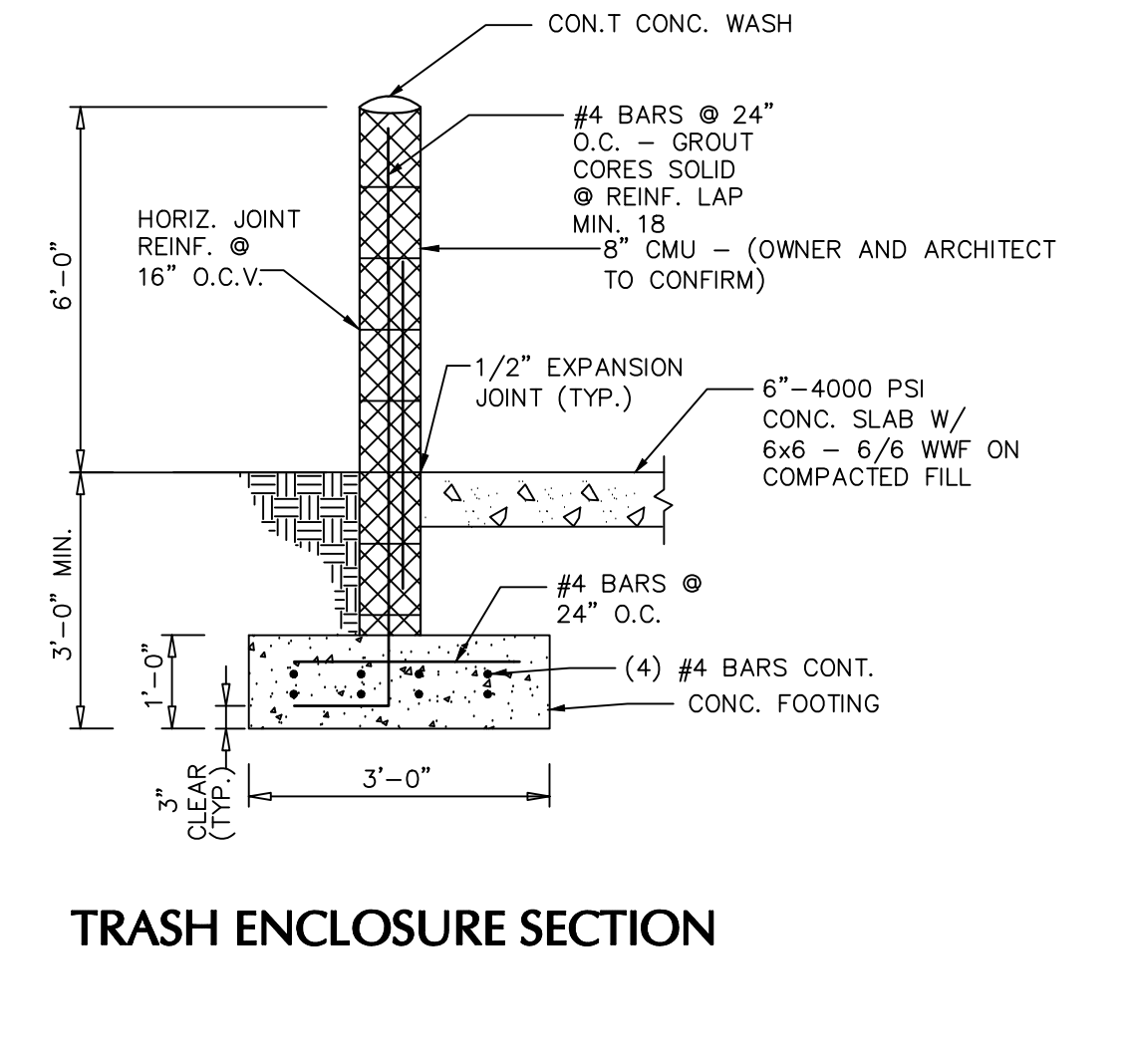
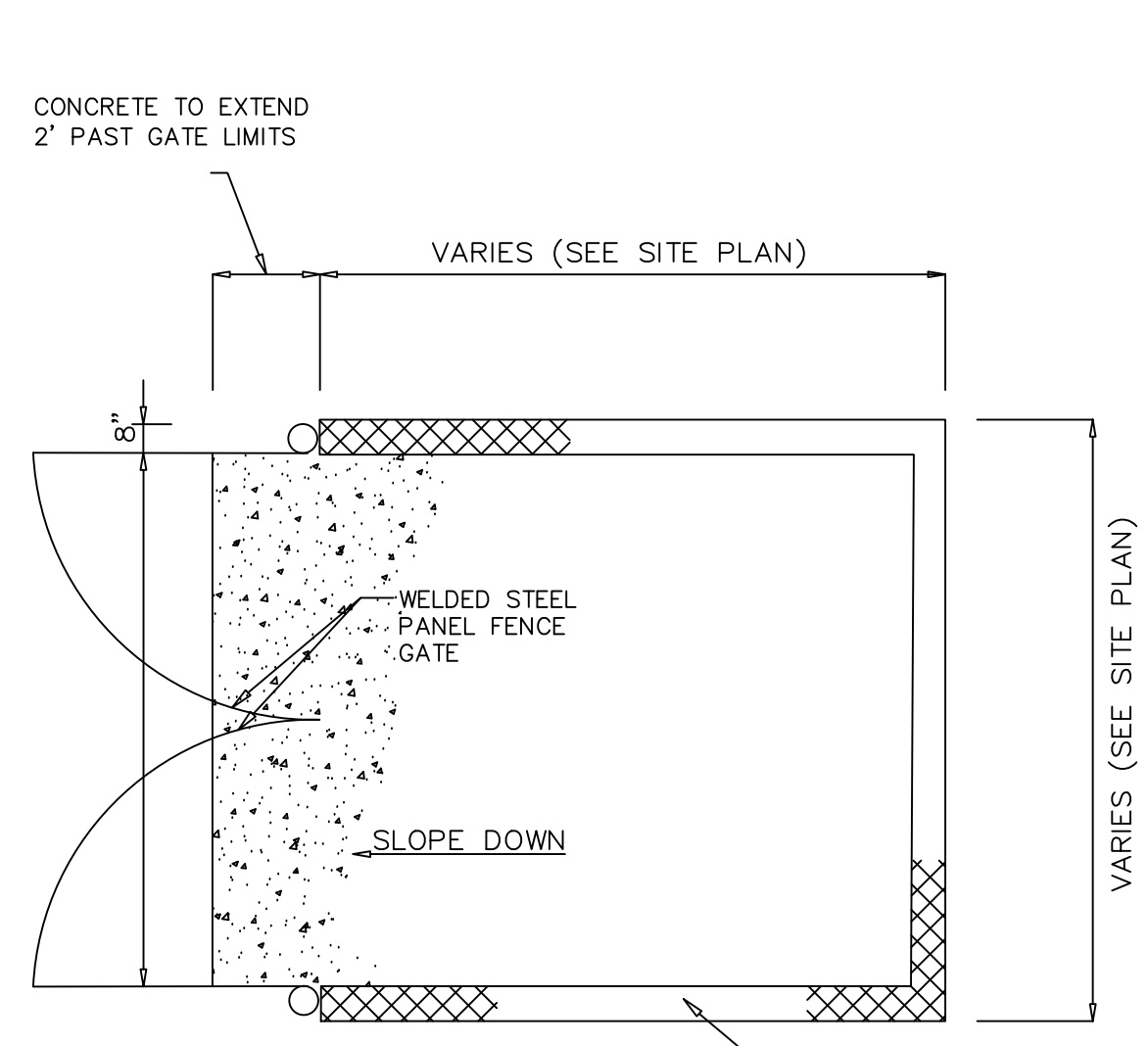
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3501 STATE ROUTE 66 REDEVELOPMENT
 BLOCK No. 3903, LOT No. 12 & 13
 NEPTUNE TOWNSHIP
 MONMOUTH COUNTY NEW JERSEY

PARTIAL SITE PLAN

Project No. 100775002
 Drawing No. CS102
 Date: AUGUST 26, 2022
 Drawn By: TEG
 Checked By: MVJ
 Sheet 13 of 48



GATE POST DETAIL

TRASH ENCLOSURE SECTION

DETAIL

- NOTE:**
1. THE ENCLOSURE FACADE TO MATCH THE EXISTING BUILDING.
 2. THE DUMPSTER SHALL HAVE A MASONRY ENCLOSURE AND SELF-LATCHING GATE.

TRASH ENCLOSURE DETAIL

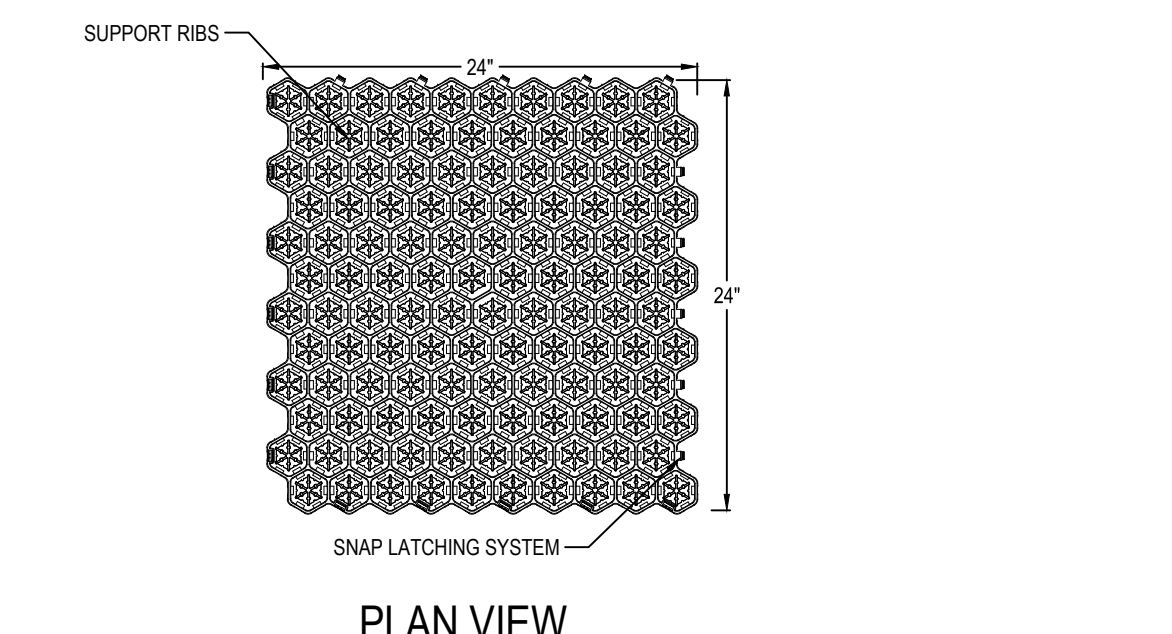


RECTANGULAR RAPID FLASH BEACON SIGN DETAIL

- NOTES:**
1. FOR EACH APPROACH ON WHICH RRFBS ARE INSTALLED TWO CROSSING WARNING SIGNS (EACH WITH AN RRFB UNIT AND A W16-7P PLAQUE) SHALL BE INSTALLED AT THE CROSSWALK, ONE ON THE RIGHT-HAND SIDE OF THE ROADWAY AND ONE ON THE LEFT-HAND SIDE OF THE ROADWAY.
 2. THE RRFB UNITS SHALL BE INSTALLED ON THE SAME SUPPORT AS THE W11-2 CROSSING WARNING SIGN AND PLAQUE.
 3. EACH RRFB SHALL CONSIST OF TWO BI-DIRECTIONAL RECTANGULAR-SHAPED YELLOW INDICATIONS, EACH WITH AN LED-ARRAY-BASED LIGHT SOURCE. THE SIZE OF EACH RRFB INDICATION SHALL BE AT LEAST 5 INCHES WIDE BY AT LEAST 2 INCHES HIGH.
 4. THE TWO RRFB INDICATIONS FOR EACH RRFB UNIT SHALL BE ALIGNED HORIZONTALLY, WITH THE LONGER DIMENSION HORIZONTAL AND WITH A MINIMUM SPACE BETWEEN THE TWO INDICATIONS OF AT LEAST 7 INCHES, MEASURED FROM THE NEAREST EDGE OF ONE INDICATION TO THE NEAREST EDGE OF THE OTHER INDICATION.
 5. THE OUTSIDE EDGES OF THE RRFB INDICATIONS, INCLUDING ANY HOUSINGS, SHALL NOT PROJECT BEYOND THE OUTSIDE EDGES OF THE W11-2, S1-1, OR W11-15 SIGN THAT IT SUPPLEMENTS.
 6. WHEN ACTUATED, THE TWO YELLOW INDICATIONS IN EACH RRFB UNIT SHALL FLASH IN A RAPIDLY FLASHING SEQUENCE.
 7. RRFBS SHALL PROVIDE 75 FLASHING SEQUENCES PER MINUTE, DURING EACH 800-MILLISECOND FLASHING SEQUENCE, THE LEFT AND RIGHT RRFB INDICATIONS SHALL OPERATE USING THE FOLLOWING SEQUENCE:
 - 7.1. THE RRFB INDICATION ON THE LEFT-HAND SIDE SHALL BE ILLUMINATED FOR APPROXIMATELY 50 MILLISECONDS. BOTH RRFB INDICATIONS SHALL BE DARK FOR APPROXIMATELY 50 MILLISECONDS.
 - 7.2. THE RRFB INDICATION ON THE RIGHT-HAND SIDE SHALL BE ILLUMINATED FOR APPROXIMATELY 50 MILLISECONDS. BOTH RRFB INDICATIONS SHALL BE DARK FOR APPROXIMATELY 50 MILLISECONDS.
 - 7.3. THE RRFB INDICATION ON THE LEFT-HAND SIDE SHALL BE ILLUMINATED FOR APPROXIMATELY 50 MILLISECONDS. BOTH RRFB INDICATIONS SHALL BE DARK FOR APPROXIMATELY 50 MILLISECONDS.
 - 7.4. THE RRFB INDICATION ON THE RIGHT-HAND SIDE SHALL BE ILLUMINATED FOR APPROXIMATELY 50 MILLISECONDS. BOTH RRFB INDICATIONS SHALL BE DARK FOR APPROXIMATELY 50 MILLISECONDS.
 - 7.5. BOTH RRFB INDICATIONS SHALL BE ILLUMINATED FOR APPROXIMATELY 50 MILLISECONDS. BOTH RRFB INDICATIONS SHALL BE DARK FOR APPROXIMATELY 50 MILLISECONDS.
 - 7.6. BOTH RRFB INDICATIONS SHALL BE ILLUMINATED FOR APPROXIMATELY 50 MILLISECONDS. BOTH RRFB INDICATIONS SHALL BE DARK FOR APPROXIMATELY 250 MILLISECONDS.
 - 7.7. THE FLASH RATE OF EACH INDIVIDUAL RRFB INDICATION, AS APPLIED OVER THE FULL FLASHING SEQUENCE, SHALL NOT BE BETWEEN 5 AND 30 FLASHES PER SECOND.
 8. THE LIGHT INTENSITY OF THE YELLOW INDICATIONS DURING DAYTIME CONDITIONS SHALL MEET THE MINIMUM SPECIFICATIONS FOR CLASS 1 YELLOW PEAK LUMINOUS INTENSITY IN THE SOCIETY OF AUTOMOTIVE ENGINEERS (SAE) STANDARD J595 (DIRECTIONAL FLASHING OPTICAL WARNING DEVICES FOR AUTHORIZED EMERGENCY, MAINTENANCE, AND SERVICE VEHICLES) DATED JANUARY 2005.
 9. AN AUTOMATIC SIGNAL DIMMING DEVICE SHALL BE USED TO REDUCE THE BRILLIANCE OF THE RRFBS DURING NIGHTTIME CONDITIONS.
 10. THE RRFB SHALL BE NORMALLY DARK, SHALL INITIATE OPERATION ONLY UPON PEDESTRIAN ACTUATION, AND SHALL CEASE OPERATION AFTER THE PEDESTRIAN CLEARS THE CROSSWALK.
 11. ALL RRFB UNITS ASSOCIATED WITH A GIVEN CROSSWALK SHALL, WHEN ACTUATED, SIMULTANEOUSLY COMMENCE OPERATION OF THEIR RAPID-FLASHING INDICATIONS AND SHALL CEASE OPERATION SIMULTANEOUSLY.
 12. A PUSH BUTTON TO TURN ON WARNING LIGHTS (R10-25) SIGN SHALL BE INSTALLED ON EACH ASSEMBLY.
 13. THE DURATION OF A PREDETERMINED PERIOD OF OPERATION OF THE RRFBS FOLLOWING EACH ACTUATION SHOULD BE BASED ON THE PROCEDURES PROVIDED IN SECTION 4E.06 OF THE 2009 MUTCD FOR THE TIMING OF PEDESTRIAN CLEARANCE TIMES FOR PEDESTRIAN SIGNALS. THE DURATION SHALL BE SET AT 12 SECONDS.
 14. A FLASH PERIOD OF 12 SECONDS AT EACH CROSSING LOCATION SHALL BE IMMEDIATELY INITIATED EACH AND EVERY TIME A PEDESTRIAN PRESSES A PUSHBUTTON DETECTOR, INCLUDING WHEN PEDESTRIANS ARE DETECTED WHILE THE RRFBS ARE ALREADY FLASHING AND WHEN PEDESTRIANS ARE DETECTED IMMEDIATELY AFTER THE RRFBS HAVE CEASED FLASHING.
 15. THE PUSH BUTTON SHALL BE ADA-COMPLIANT, PROGRAMMABLE WITH SPEECH PUSHBUTTON INFORMATION, A PUSHBUTTON LOCATOR TONE SHALL BE PROVIDED.
 16. THE SPEECH PUSH BUTTON MESSAGE SHOULD SAY, "YELLOW LIGHTS ARE FLASHING." THE MESSAGE SHALL BE SPOKEN TWICE UPON ACTIVATION.
 17. THE RRFB SHALL BE WIRELESS AND SOLAR POWERED.
 18. THE SYSTEM SHALL INCLUDE A PHOTOVOLTAIC CELL SOLAR PANEL FOR EACH ASSEMBLY, THE SUPPLIED BATTERIES SHALL BE READILY AVAILABLE FROM MULTIPLE SUPPLIERS AND NON-PROPRIETARY. SOLAR PANEL AND BATTERY SYSTEM SHALL BE 12 VOLT DUAL BATTERY SYSTEMS (SEALED, MAINTENANCE-FREE) AND SHALL BE DESIGNED FOR MINIMUM 5-YEAR BATTERY LIFE.
 19. THE BATTERY SHALL BE SOLAR-CHARGED WITH A CAPACITY OF UP TO 30 DAYS OF AUTONOMY WITHOUT SUNLIGHT, VARYING WITH AMBIENT TEMPERATURE AND NUMBER OF ACTIVATIONS; THE BATTERY SHALL HAVE A MINIMUM OPERATING TEMPERATURE RANGE OF -40F TO 140F.

N.T.S.

N.T.S.

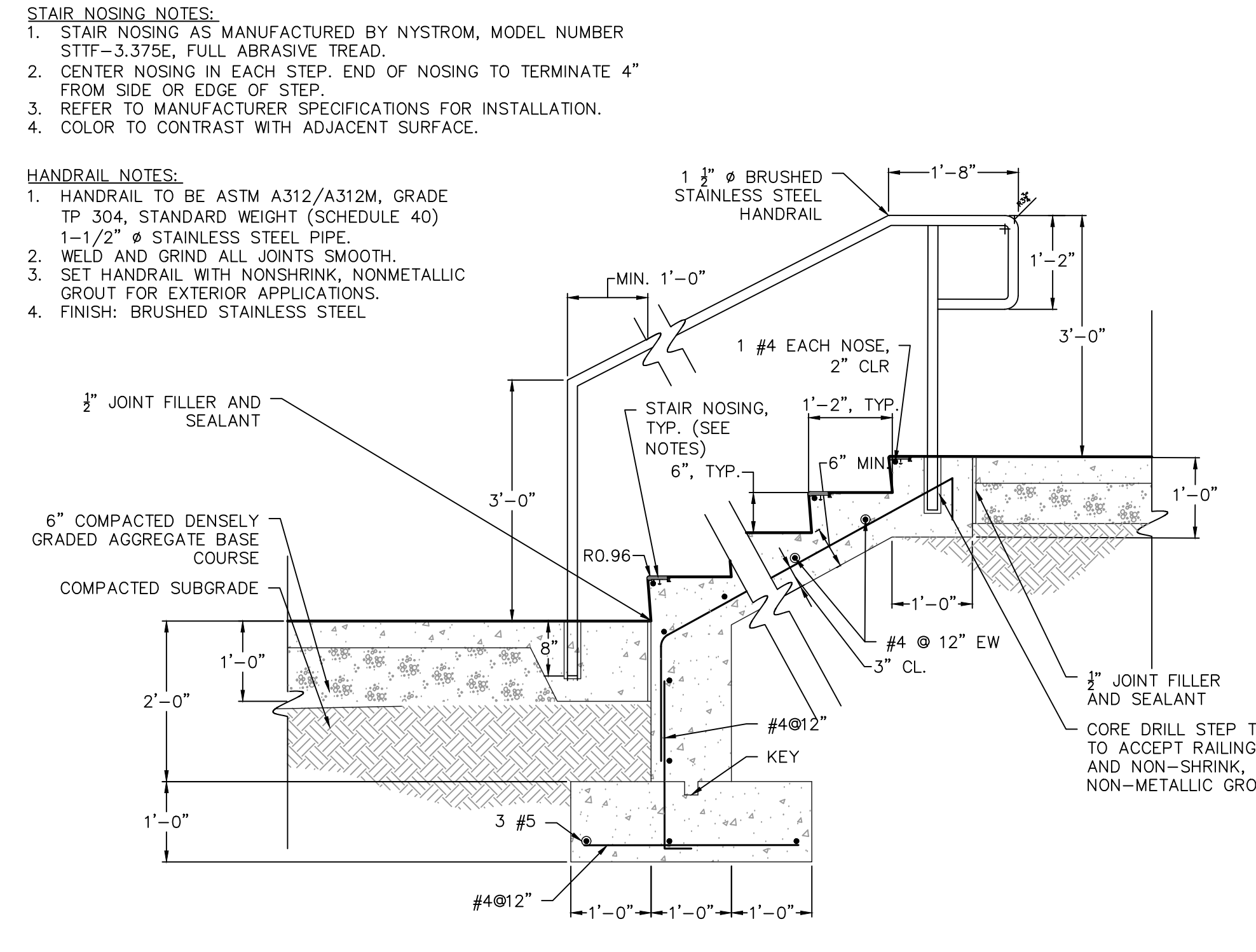


- NOTES:**
- ENGINEERING PROPERTIES:**
1. COMPRESSIVE STRENGTH OF T24 PAVER: EMPTY PAVER: ULTIMATE LOAD = 86,563 LBS / 601 PSI. FILLED PAVER: ULTIMATE LOAD = 400,000 LBS.
 2. POROSITY OF AASHTO #57 AGGREGATE = 0.4
- TOP SOIL FILL:**
3. NDS RECOMMENDS NATIVE TOP SOIL FOR BACKFILL INSIDE THE PAVERS.
 4. EXTEND TOP SOIL INSIDE PAVER AN ADDITIONAL 1/4 TO 1/2 INCH ABOVE PAVER SURFACE AND MATCH SURROUNDING GRADE. PROPOSED FINISHED GRADE SLOPE PER PROJECT GRADING PLAN. PROTECT PAVER AREA UNTIL GRASS IS SUFFICIENTLY ESTABLISHED TO HANDLE TRAFFIC PROVIDE 1" MIN CLEARANCE BETWEEN ANY CONCRETE EDGE AND PAVER.
 5. GRASS PAVERS ARE TO BE USED FOR AREAS OF PEDESTRIAN USE AND OCCASIONAL VEHICULAR TRAFFIC USE (E.G., OVERFLOW PARKING AND EMERGENCY VEHICLE/FIRE LANES).
- AASHTO #57 BASE ROCK:**
6. GRADATION OF AASHTO #57 COARSE BASE ROCK: 100% PASSING 1 1/2" SCREEN, 95-100% PASSING 1", 25-60% PASSING 1/2", AND 0-10% PASSING #10 SCREEN.
 7. THICKNESS OF AGGREGATE LAYER IS AS FOLLOWS: NO BASE REQUIRED FOR EROSION CONTROL AND PEDESTRIAN ONLY LOADS (COMPACTION OF NATIVE SOIL RECOMMENDED FOR SLOPES UP TO 3%); 4 INCHES FOR LIGHT LOADS (GOLF CARTS); 6 INCHES FOR MEDIUM LOADS (CARS AND PICKUP TRUCKS); 8 INCHES FOR HEAVY LOADS (FIRE TRUCKS).
 8. NDS RECOMMENDS NON-WOVEN NEEDLE-PUNCHED GEOTEXTILE. WOVEN GEOTEXTILES SHOULD NOT BE USED.
 9. USE FILTER FABRIC WITH ADS < 0.60 MM FOR NATIVE SOILS WITH 50% OR LESS PARTICLES BY WEIGHT PASSING NO. 200 SIEVE. USE FILTER FABRIC WITH ADS < 0.30 MM FOR NATIVE SOILS WITH 50% OR GREATER PARTICLES BY WEIGHT PASSING THE NO. 200 SIEVE. APPROACH OF REQUIRING A FIXED DENSITY IS NOT APPLICABLE.
- FILTER FABRIC (OPTIONAL):**
9. FILTER FABRIC MAY BE USED TO PREVENT MIGRATION OF FINES FROM SURROUNDING NATIVE SOILS INTO COARSE AGGREGATE LAYER. THE FABRIC PREVENTS CLOGGING OF AGGREGATE LAYER AND EXTENDS ITS USEFUL LIFE. USE OF FILTER FABRIC IS STRONGLY RECOMMENDED AROUND EDGE DRAIN.
 10. NDS RECOMMENDS NON-WOVEN NEEDLE-PUNCHED GEOTEXTILE. WOVEN GEOTEXTILES SHOULD NOT BE USED.
 11. USE FILTER FABRIC WITH ADS < 0.60 MM FOR NATIVE SOILS WITH 50% OR LESS PARTICLES BY WEIGHT PASSING NO. 200 SIEVE. USE FILTER FABRIC WITH ADS < 0.30 MM FOR NATIVE SOILS WITH 50% OR GREATER PARTICLES BY WEIGHT PASSING THE NO. 200 SIEVE.
- UNDERDRAIN:**
12. NDS RECOMMENDS UNDERDRAIN TO COLLECT PERCOLATED WATER AND CONVEY TO PROJECT STORMWATER FACILITY FOR NATIVE SOIL THAT IS HIGH HYDROLOGIC SOIL GROUP C OR D (LOW INFILTRATION RATES). UNDERDRAIN IS OPTIONAL FOR SOIL GROUP B (MODERATE INFILTRATION) AND CAN BE ELIMINATED FOR SOIL GROUP A (GOOD INFILTRATION).
 13. USE MINIMUM 4-INCH DIA PERFORATED PVC OR POLYETHYLENE PIPE AT 20-FT CENTERS, MINIMUM ONE PIPE. PIPE TO BE INSTALLED AT MINIMUM 0.2% SLOPE. RECOMMENDED 2.00 INCHES OF OPENING. LINER FOOT.
 14. UNDERDRAIN TO DAYLIGHT INTO PROJECT STORMWATER FACILITY (CATCH BASIN/ OPEN CHANNEL/ BASIN).
 15. INVERT OF PIPE RECOMMENDED TO BE ABOVE PROJECT HIGH WATER LEVEL, TO PREVENT BACKING-UP OF WATER INTO PAVER SYSTEM.
 16. UNDERDRAIN TO BE SURROUNDED BY 4" OF AASHTO #57 COARSE AGGREGATE, WITH MIN 2" BEDDING.
- SUBGRADE NATIVE SOIL:**
17. COMPACT SUBGRADE NATIVE SOILS TO 95% STANDARD PROCTOR DENSITY PER ASTM D696 FOR SOILS WITH CALIFORNIA BEARING RATIO > 20%, R VALUE > 30, AASHTO A-1, A-2, AND A-3 SOILS. LOWER COMPACTION LEVELS PROMOTE INFILTRATION THROUGH SOIL.
 18. NDS RECOMMENDS THAT ENGINEERS OF RECORD CONSIDER HIGHER LEVELS OF COMPACTION FOR CBR 5 TO 20%, R-VALUE 10 TO 30, AASHTO A-4 SOILS FOR HEAVY LOADS WHERE INFILTRATION INTO NATIVE SOILS IS NOT A REQUIREMENT.
 19. NDS RECOMMENDS THAT ENGINEERS OF RECORD CONSULT WITH PROJECT GEOTECHNICAL ENGINEER FOR POTENTIAL SOIL MODIFICATION (E.G. LIME TREATMENT) AND COMPACTION LEVEL FOR CBR < 5% AND R-VALUE < 10, AASHTO A-5, A-6, AND A-7 SOILS.

PLAN VIEW

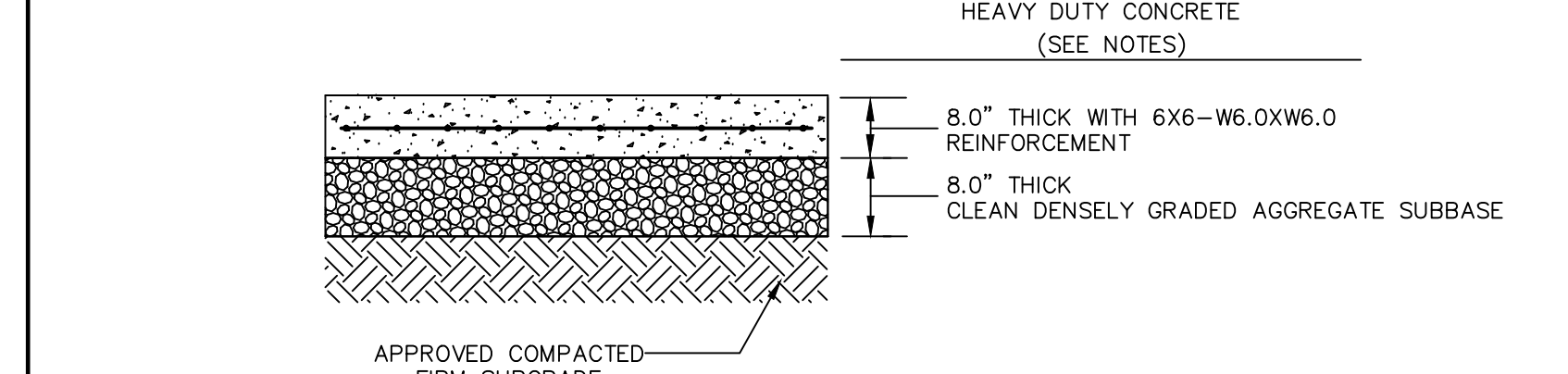
SECTION VIEW

GRASS PAVERS DETAIL



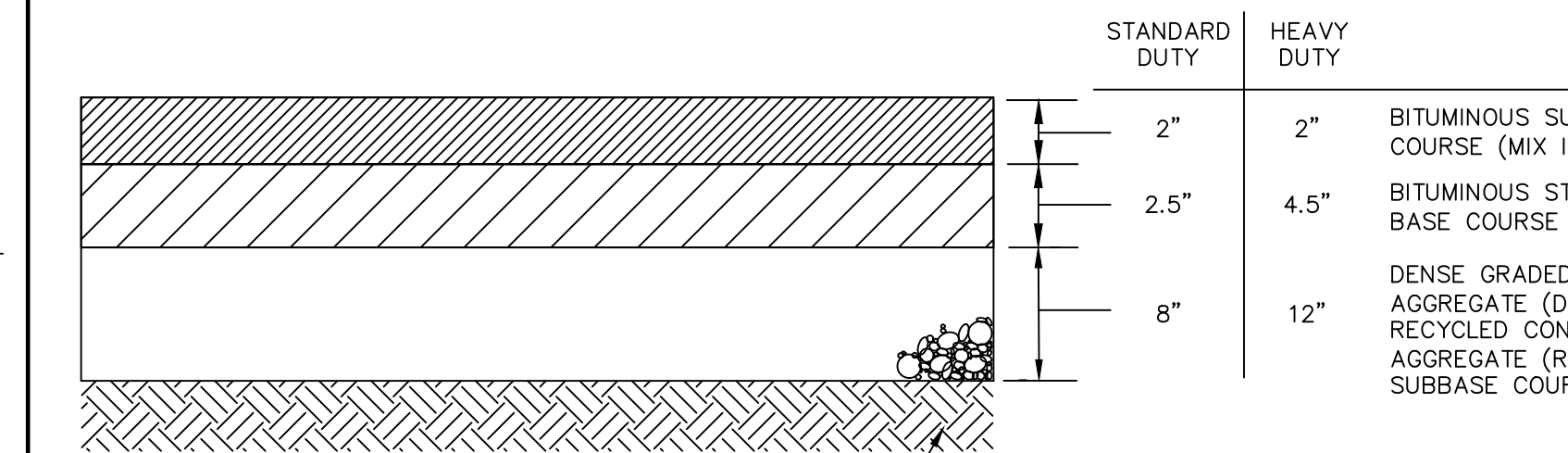
- STAIR NOSING NOTES:**
1. STAIR NOSING AS MANUFACTURED BY NYSTROM, MODEL NUMBER STTF-3.375E, FULL ABRASIVE TREAD.
 2. CENTER NOSING IN EACH STEP. END OF NOSING TO TERMINATE 4" FROM SIDE OR EDGE OF STEP.
 3. REFER TO MANUFACTURER SPECIFICATIONS FOR INSTALLATION.
 4. COLOR TO CONTRAST WITH ADJACENT SURFACE.
- HANDRAIL NOTES:**
1. HANDRAIL TO BE ASTM A312/A312M, GRADE TP 304, STANDARD WEIGHT (SCHEDULE 40)
 - 1-1/2" Ø STAINLESS STEEL PIPE
 2. WELD AND GRIND ALL JOINTS SMOOTH.
 3. SET HANDRAIL WITH NONSHRINK, NONMETALLIC GROUT FOR EXTERIOR APPLICATIONS.
 4. FINISH: BRUSHED STAINLESS STEEL.

CONCRETE STAIR AND HANDRAIL DETAIL

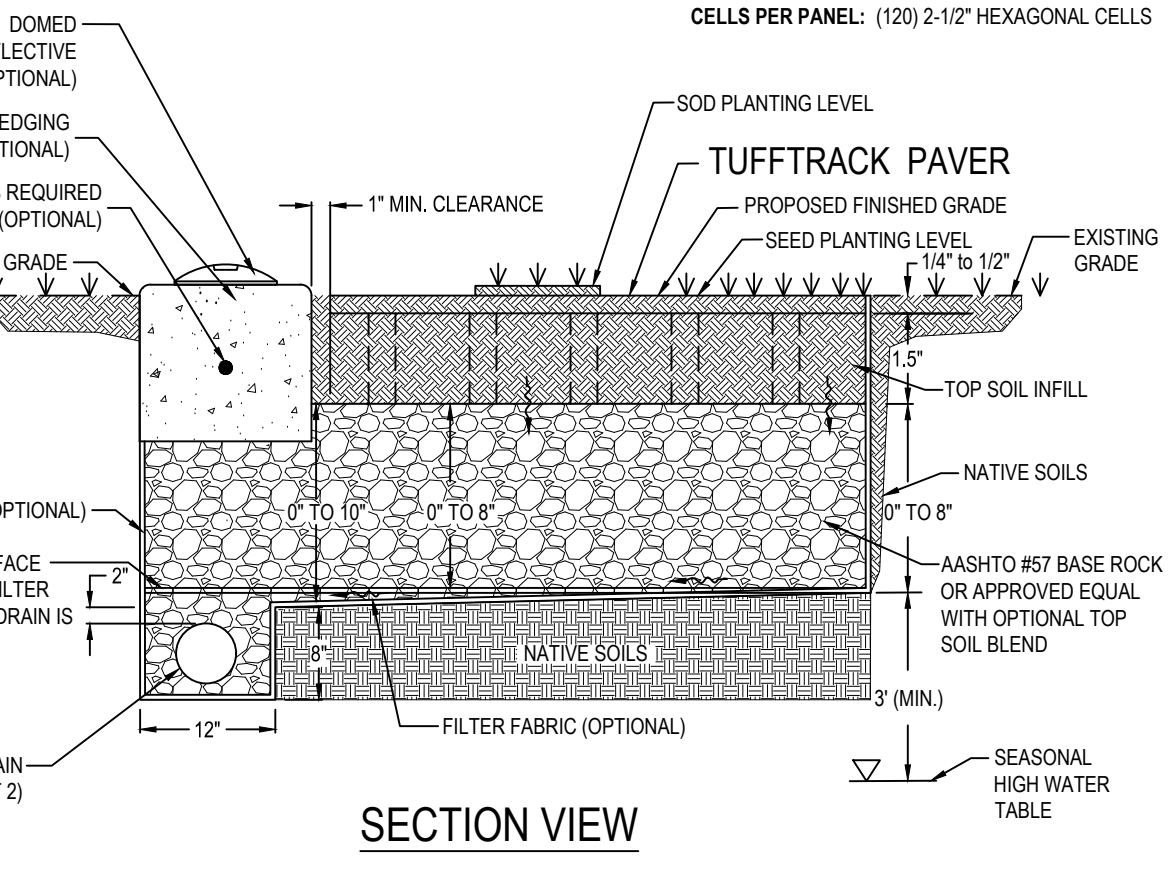


- NOTES:**
1. HEAVY DUTY CONCRETE PAVEMENT TO BE USED IN LOADING DOCKS AND TRAILER DOLLY PADS. REFER TO SITE PLANS FOR EXTENTS.

CONCRETE PAVEMENT SECTION

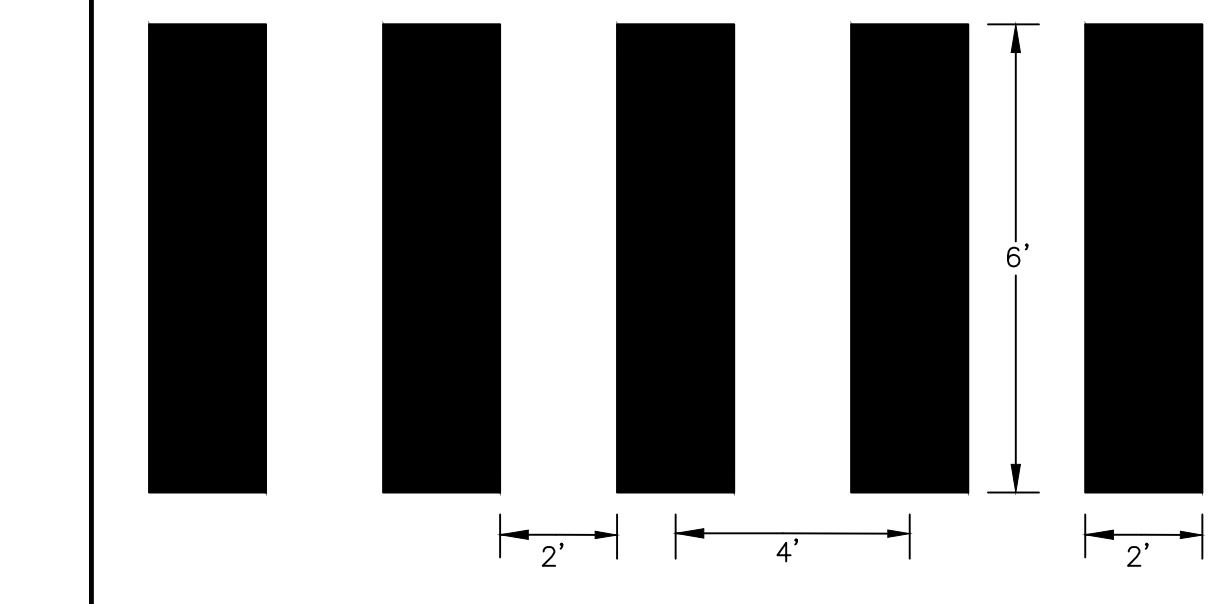


ASPHALT PAVEMENT SECTION



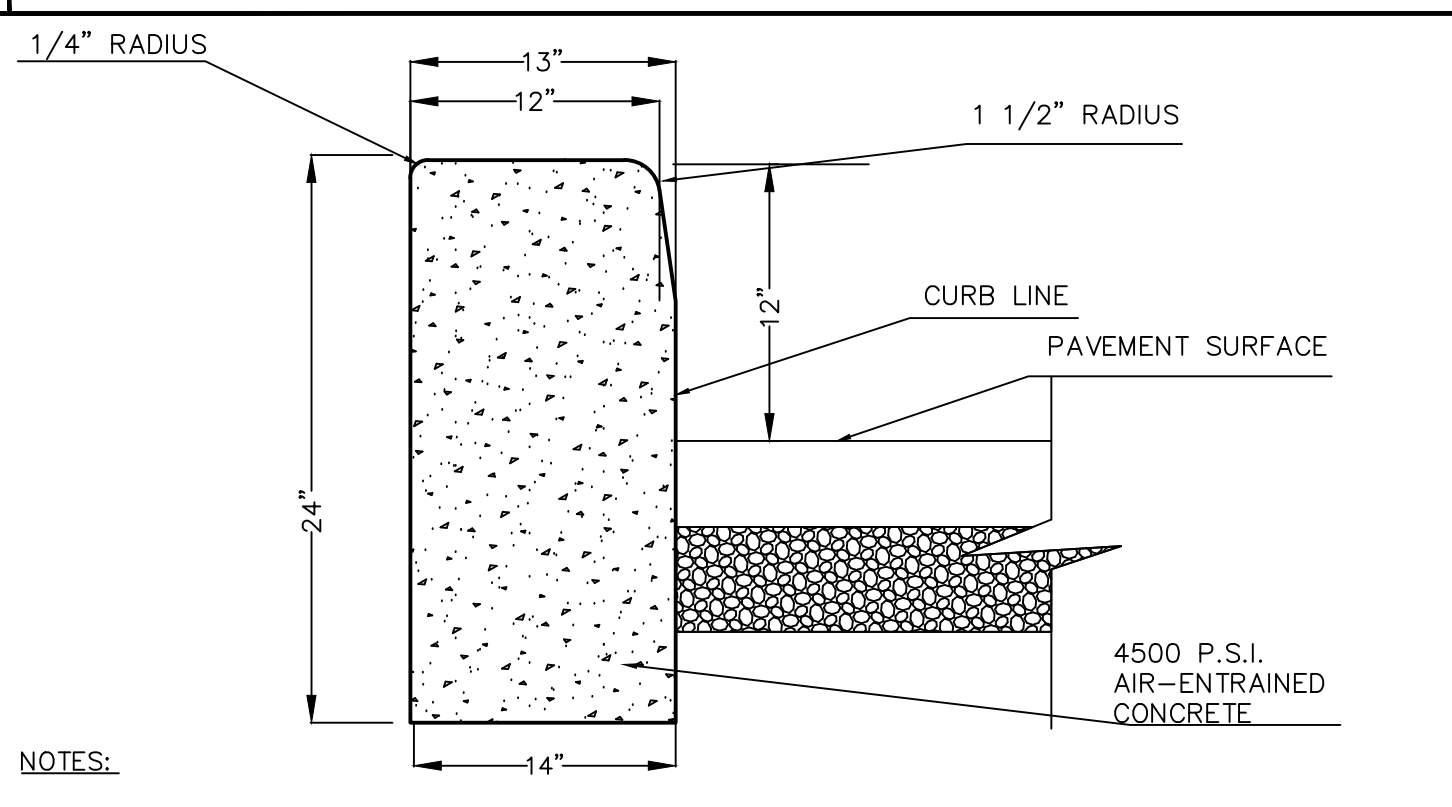
- GENERAL NOTES:**
1. ALL CONCRETE SHALL BE CLASS "B" AIR ENTRAINED.
 2. EXPANSION JOINTS SHALL BE AT 10 FOOT INTERVALS AND FILLED WITH 1/2" THICK, NON-EXTRUDABLE, FIBROUS, BITUMASTIC MATERIAL.
 3. PROVIDE 1/2" THICK, NON-EXTRUDABLE, FIBROUS, BITUMASTIC MATERIAL WHERE CURB IS ADJACENT TO CONCRETE SIDEWALK OR RIGID CONCRETE PAVEMENT.

MOUNTABLE 9" CURB



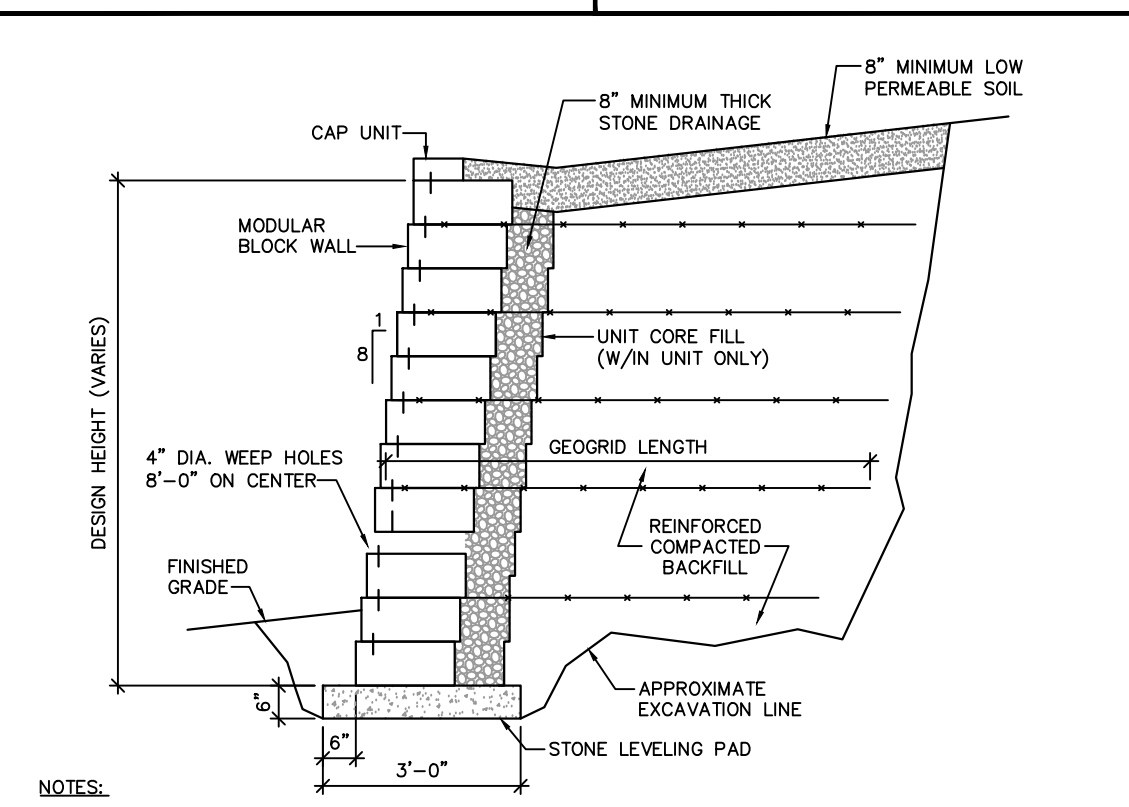
- NOTE:**
1. CROSSWALK STRIPING TO BE WHITE LONG-LIFE THERMOPLASTIC.

CROSSWALK STRIPING



- NOTES:**
1. CONCRETE SHALL BE 4500 PSI CLASS "B" AIR-ENTRAINED CONCRETE.
 2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB AT 20 FOOT INTERVALS AND SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER.
 3. ALL CURBS SHALL BE INSTALLED ON AN APPROVED, COMPACTED SUBGRADE, WHERE DIRECTED BY THE GEOTECHNICAL ENGINEER, A MINIMUM OF FOUR INCHES OF QUARRY PROCESS STONE SHALL BE INSTALLED AS THE SUBBASE.
 4. 12" CONCRETE CURB IS LOCATED ALONG THE REAR OF THE PROPOSED TRAILER LOADING SPACES.

12" CONCRETE CURB



- NOTES:**
1. GRANTY WALLS MAY BE CONSTRUCTED WITH THE NATURAL ROCK EXCAVATED FROM THE SITE IN LIEU OF MODULAR BLOCK RETAINING WALLS.
 2. DETAILED DESIGN CERTIFIED BY NEW YORK LICENSED PROFESSIONAL ENGINEER TO BE PROVIDED TO CONSTRUCTION FOR ALL WALLS.

TYPICAL MODULAR BLOCK RETAINING WALL

Date	Description	No.

REVISIONS

DATE SIGNED: 5/3/2024
 SIGNATURE: JOHN COTE
 PROFESSIONAL ENGINEER NJ Lic. No. 24GE03705800

LANGAN
 Langan Engineering and Environmental Services, LLC
 300 Kimball Drive
 Parsippany, NJ 07054
 T: 973.560.4900 F: 973.560.4901 www.langan.com
 NJ Certificate of Authorization No. 24GA27966403

3501 STATE ROUTE 66 REDEVELOPMENT
 BLOCK No. 3903, LOT No. 12 & 13
 NEPTUNE TOWNSHIP

SITE DETAIL

Project No. 100775002
 Date MAY 03, 2024
 Drawn By SS
 Checked By TH
 Drawing Title CS502
 Sheet 15 of 48

